

**US Army Corps  
of Engineers**  
Louisville District

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# **Solicitation For**

**IDIQ Design Build Multiple Award Task Order  
Contract (MATOC) for Building Envelope, Roof  
Repair and Replacement Construction in  
Support of U.S. Army Reserves National  
Roofing Program (NRP), Army, and Air Force  
Reserve Sections**

**P2: 472474**

**Design Build**

**Specifications Volume 2 of 2**

**04 November 2019  
W912QR19R0014**

**As Awarded  
22 May 2020  
W912QR20D0014**

NRP FY20 DB MATOC  
Corrected Final

As Awarded 22 MAY 2020 W912QR20D0014/W912QR19R0014  
W912QR10R0014\_Specs\_Vol2-0002  
472474  
January 2020

National Roofing Program (NRP) FY20 MATOC  
Volume 2  
Corrected Final

Amendment 0002

NRP FY20 DB MATOC

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## VOLUME 2 Seed Projects

### Seed Project 1 AS001

00	80	50.00	06	Seed Project 1 AS001 SPECIAL PROVISIONS
01	11	50.00	06	Seed Project 1 AS001 SUMMARY OF WORK
				Attachment A Photos of Existing Conditions
				Attachment B Existing Conditions
				Attachment C Site Location

### Seed Project 2 CA150

00	80	50.00	06	Seed Project 2 CA150 SPECIAL PROVISIONS
01	11	50.00	06	Seed Project 2 CA150 SUMMARY OF WORK
				Attachment A Photos of Existing Conditions
				Attachment B Existing Conditions
				Attachment C Site Location

### Seed Project 3 FL125

00	80	50.00	06	Seed Project 3 FL125 SPECIAL PROVISIONS
01	11	50.00	06	Seed Project 3 FL125 SUMMARY OF WORK
				Attachment A Photos of Existing Conditions
				Attachment B Existing Conditions
				Attachment C Site Location

### Seed Project 4 IL079

00	80	50.00	06	Seed Project 4 IL079 SPECIAL PROVISIONS
01	11	50.00	06	Seed Project 4 IL079 SUMMARY OF WORK
				Attachment A Photos of Existing Conditions
				Attachment B Existing Conditions
				Attachment C Site Location

### Seed Project 5 WV026

00	80	50.00	06	Seed Project 5 WV026 SPECIAL PROVISIONS
01	11	50.00	06	Seed Project 5 WV026 SUMMARY OF WORK
				Attachment A Photos of Existing Conditions
				Attachment B Existing Conditions
				Attachment C Site Location

National Roofing Program (NRP) FY20 MATOC  
Volume 2  
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Seed Project 1  
AS001  
2508 Airport Rd, Tafuna, American Samoa  
Single Ply Overlay of Standing Seam Metal Roof



NRP FY20 MATOC Project 1  
Tafuna, American Samoa AS001  
472474

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SECTION  
00 80 50.00 06

SPECIAL PROVISIONS FOR TASK ORDERS

08/19

PART 1 GENERAL

1.1 NOT USED

1.2 NOT USED

1.3 NOT USED

1.4 TIME EXTENSIONS FOR UNUSUALLY SEVERE WEATHER. ER 415-1-15

This provision specifies the procedure for the determination of time extensions for unusually severe weather in accordance with the "Default (Fixed-Price Construction)" as discussed in Section 00 70 00 of the base contract and Section 00 70 50 of this task order. In order for the Contracting Officer to award a time extension under this clause, the following conditions must be satisfied:

The weather experienced at the project site during the contract period must be found to be unusually severe, that is, more severe than the adverse weather anticipated for the project location during any given month.

The unusually severe weather must actually cause a delay to the completion of the project. The delay must be beyond the control and without the fault or negligence of the Contractor.

The following schedule of monthly anticipated adverse weather delays is based on National Oceanic and Atmospheric Administration (NOAA) or similar data for the project location and will constitute the base line for monthly weather time evaluations. The Contractor's progress schedule must reflect these anticipated adverse weather delays in weather dependent activities.

MONTHLY ANTICIPATED ADVERSE WEATHER DELAY  
WORK DAYS BASED ON (5) DAY WORK WEEK

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
AS001	6	5	6	7	9	7	9	11	8	9	8	6

Upon acknowledgment of the Notice to Proceed (NTP) and continuing throughout the contract, the Contractor will record on the daily CQC report, the occurrence of adverse weather and resultant impact to normally scheduled work. Actual adverse weather delay days must prevent work on critical activities for 50 percent or more of the Contractor's scheduled work day. The number of actual adverse weather delay days shall include days impacted by actual adverse weather (even if adverse weather occurred in previous month), be calculated chronologically from the first to the last day of each month, and be recorded as full days. If the number of actual adverse weather delay days exceeds the number of days anticipated listed above, the Contracting Officer will convert any qualifying delays to calendar days, giving full consideration for equivalent fair weather work

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days, and issue a modification in accordance with the "Default (Fixed-Price Construction)" in section 00 70 00 of the base contract, Volume 1 .

#### 1.5 WAGE RATES

The decision of the Secretary of Labor, covering rates of wages, including fringe benefits to be paid laborers and mechanics performing work under this contract, is attached to this solicitation. The payment for all classes of laborers and mechanics actually employed to perform work under the contract will be specified in the following contract provisions: "Contract Work Hours and Safety Standards -- Overtime Compensation"; "Construction Wage Rate Requirements"; and, "Compliance with Copeland Act Requirements" in Section 00 70 00 of the base contract.

The Davis-Bacon Act is not applicable to contract work performed in American Samoa, and the Service Contract Act has been held not to apply to construction contracts. In accordance with the Permits and Responsibilities clause of the base contract, FAR 52.236-7, the Contractor shall be responsible for complying with any local labor laws, codes, and regulations that apply to the work performed under this task order. The Contractor is advised to consult with the Commonwealth's Department of Labor for the purpose of reviewing applicable local labor laws which may contain specific rules for computing overtime and the amount of overtime pay laborers and mechanics must be paid. Any such applicable local labor law imposing stricter overtime rules than those contained in the Contract Work Hours and Safety Standards Act -- Overtime Compensation clause of this contract (i.e., provides greater benefits to laborers and mechanics) may apply in lieu of the rules contained in that clause.

The work to be performed is located in the Territory of American Samoa, Taaautu County.

1.6 Not Used

1.7 Not Used

1.8 Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED 0

1.12 NOT USED

1.13 NOT USED

1.14 NOT USED

1.15 NOT USED

1.16 DESIGN CONFERENCES

Due to the remote location of the facility all design conferences will be at the Contractor's or DORs office. The contractor shall be responsible for a

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meeting room with size to accommodate all contractor and six (6) government personnel.

1.17 NOT USED

1.18 NOT USED

1.19 NOT USED

1.20 NOT USED

1.21 NOT USED

1.22 NOT USED

1.23 NOT USED

1.24 NOT USED

1.25 NOT USED

1.26 NOT USED

PART 2 PRODUCTS NOT USED

PART 3 EXECUTION NOT USED

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 1																				
LOCATION: AS001 Tafuna, American Samoa																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC									CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY					
Line	Act- ivity #	Trans- mittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classi- fication: GA for GOVT or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Labor, Equipment and Material Reports	1.19	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Daily Equipment Report	1.19	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Scaffolding, Competent Person and Crew Qualifications and Training	1.21	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Scaffolding Erection Plan	1.21	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Fingerprints of all persons employed or to be employed	1.12	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Local Agency Check	1.12	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Training Report	1.3	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Construction Plan	3.3.1	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Contractor's Safety Program	3.4.5.3	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Demolition Plan	4.2	GA												
			01 32 01.00 06 Vol 1	SD-01	Preconstruction Submittal	Task Order Schedule	3.4	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Accident Prevention Plan	1.8	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Activity Hazard Analysis (AHA)	1.9	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Site Safety & Health Office Qualifications (SSHO)	1.6 & Vol 2	GA												
			01 45 04.10 06 Vol 1	SD-01	Preconstruction Submittal	Design Quality Control Plan	3.2	GA												
			01 45 04.10 06 Vol 1	SD-01	Preconstruction Submittal	Construction Quality Control Plan	3.3	GA												
			01 50 00 Vol 1	SD-01	Preconstruction Submittal	Construction Site Plan	1.4	GA												
			01 50 00 Vol 1 and 01 57 20.00 06 Vol 1	SD-02	Preconstruction Submittal	Dust Control Plan	3.4.4 and 4.2.11	GA												
			01 57 20.00 06 Vol 1	SD-01	Preconstruction Submittal	Environmental Protection Plan	1.7	GA												
			01 74 19 Vol 1	SD-01	Preconstruction Submittal	Waste Management Plan	1.6	GA												
			00 80 50.00 06 Vol 2	SD-01	Preconstruction Submittal	Storm Water Pollution Prevention Plan	1.7	GA												
			00 80 50.00 06 Vol 2	SD-02	Shop Drawings	Mechanical/Electrical Room Layout	1.9	GA												
			00 80 00.00 06 Vol 1	SD-04	Samples	Equipment Warranty Identification Tags	1.13(f)	GA												
			00 80 50.00 06 Vol 2	SD-05	Design Data	Soil Certification	1.24	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Equipment-in-Place List	1.9	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Maintenance and Parts Data	1.9	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Progress Photographs	1.20	GA												
			00 80 00.00 06 Vol 1	SD-07	Certificates	Warranties	1.13	GA												
			00 80 00.00 06 Vol 1	SD-07	Certificates	Insurance	1.4	GA												

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 1																				
LOCATION: AS001 Tafuna, American Samoa																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC									CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY					
Line	Activity #	Transmittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classification: GA for GOVT or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks
			00 80 00.00 06 Vol 1	SD-07	Certificates	Sales and Use Tax	1.1	GA												
			1 80 00.00 06 Vol 1	SD-08	Certificates	Certificates of Compliance	1.33	GA												
			00 80 50.00 06 Vol 2	SD-07	Certificates	No Asbestos - Containing Material (ACM) Certification	1.21	GA												
			00 80 50.00 06 Vol 2	SD-07	Certificates	Monthly AT Training Roster	4.1.8	GA												
			00 80 00.00 06 Vol 1	SD-11	Closeout Submittals	Preliminary (Working) As-Built Drawings	1.7.4	GA												
			00 80 00.00 06 Vol 1	SD-11	Closeout Submittals	Warranty Management Plan	1.13(b)	GA												
			00 80 50.00 06 Vol 2	SD-11	Closeout Submittals	Final As-Built Drawings	1.9	GA												
			01 74 19 Vol 1	SD-11	Closeout Submittals	Records, Waste Generated/Diverted	1.7	GA												
			1 80 00.00 06 Vol 1	SD-12	Closeout Submittals	Final Borrow Pit/Spoil Area Contour Map	1.7.3(h) or 1.8.4	GA												

FY20 NRP Project 1  
AS001, Tafuna, American Samoa

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Amendment 0002

SECTION  
01 11 50.00 06

Task Order SCOPE OF WORK

1.0 PROJECT INFORMATION

1.1 GENERAL

**Design/Build:** The Contractor shall provide all labor, equipment, supplies, and consultant services and all site investigations, surveys, analysis, sampling, testing and verification of existing field conditions as required for design and construction of the Roof Replacement Project at AS001 to result in a complete and useable Facility. Contractor shall provide complete design analysis incorporating all engineering computations, analysis, test and survey results, building code (including fire protection, life safety, environmental and accessibility) review as it pertains/affects/relates to this project, equipment and material data and documentation of existing conditions.

1.2 SCOPE OF WORK

Unless specifically noted otherwise in this Specification Section or in the base MATOC contract Volume 1 of 2 itself, all requirements of the base MATOC contract Volume 1 of 2 shall apply to this Task Order. The work includes design and construction to install a single ply overlay system of the metal roofs for the Warehouse, AAFES, and VA buildings at AS001.

**Design/Build:** Design and construction shall comply with the requirements contained in this Task Order Request for Proposal (RFP). The design and technical criteria contained and cited in this RFP and the Unified Facilities Guide Specifications (UFGS) establish minimum standards for design and construction quality. The Designers of Record shall use the Unified Facilities Guide Specifications (UFGS) and the requirements contained in this RFP to fully develop the technical specifications and construction drawings. The objective of this solicitation is to obtain an energy efficient, durable, maintainable and sustainable space.

**Design/Build:** The illustrations and exhibits included in this RFP illustrate the conceptual design of the project and are provided to define the scope of work and budget. The concepts provided shall be further developed by the Design/Build Contractor to comply with the customer's functional needs.]

All demolition required to construct the project is included as part of the work of this Contract.

1.3 SITE LOCATION

This project is located at 2508 Airport Rd, Tafuna, AS.

1.4 EXISTING SITE UTILITIES

1.4.1 The contractor shall verify the capacity of all utilities serving the building. Upgrading the existing utilities, (unless noted otherwise) outside the limits of construction, is not a part of this project.

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## 1.5 BID OPTIONS

NOT USED

## 1.6 ATTACHMENTS

**Design/Build:** Information provided in the Attachments is intended to guide the completion of the design by establishing existing conditions, and the desired character, appearance, and function of the new construction. The following Attachments are included and shall be used and strictly adhered-to in completing the design and construction of the project.

- a. ATTACHMENT A:       Photos of Existing Conditions
- b. ATTACHMENT B:       Existing Conditions
- c. ATTACHMENT C:       Site Location

1.7           Not Used

1.8           Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 NOT USED

## 2.0 DESIGN REQUIREMENTS

### 2.1 GENERAL

The Contractor shall prepare complete construction documents for all work designed as required by the RFP. The construction documents to be prepared shall include, but are not limited to, construction drawings, specifications, submittals, and design analysis as required in Section 01 33 16.00 10 DESIGN DATA (DESIGN AFTER AWARD), Volume 1. Materials and equipment shall be limited to those specified except that where no specific material and equipment is specified or no basis of design is identified, the Contractor shall use materials and equipment accepted within the construction industry and in compliance with Design Criteria.

### 2.2 DESIGN

2.2.1 The Contractor shall prepare a 100% design for the project in accordance with the RFP using industry standard materials and efficient practices. The design of the materials selected shall be high quality, durable and easily maintained. The Contractor shall be responsible for the professional quality, code compliance, technical accuracy, and coordination of all designs, drawings, specifications, and other documents or publications upon which the design and construction are based. It shall be the responsibility of the Design/ Build Contractor to verify the accuracy of the documents provided.

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## 2.2.2 Design Milestone Schedule

Notice to Proceed (NTP)	Day 0
Charette Report (FIO no review)	NTP + 60 Days
Interim Submittal (FIO no review)	NTP + 90 Days
Draft Final	NTP + 120 days
Corrected Final/Issue for Construction Submittal	NTP + 150 days

## 2.3 REQUEST FOR PROPOSAL (RFP) INTENT

The intent of this RFP section is to describe the requirements for appearance, function, materials, and types of construction in sufficient detail to enable engineering and design to be completed by the Contractor.

2.4 NOT USED

2.5 NOT USED

2.6 Not Used

2.7 NOT USED

2.8 NOT USED

2.9 NOT USEDS

2.10 NOT USED

2.11 Not Used

2.12

## 2.13 GOVERNMENT FURNISHED MATERIALS

### 2.12.1 GFM Handover

The GFM has been provided as part of the Solicitation package.

### 2.12.2 GFM File Formats

GFM are provided only in PDF format.

## 2.14 DESIGN SUBMITTAL DISTRIBUTION MATRIX

### Submittal Reviewers & Mailing Addresses

U.S. Army Corps of Engineers  
Timothy M. McClellan, P.E., RRC  
Timothy.m.mcclellan@usace.army.mil  
LRL-ED-MA Room 872C  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers



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AS001, Tafuna, American Samoa

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Albert F. Cherry  
USARC-ARIMD Engineering Branch  
Program Manager: BUILDER, NRP, & FRP  
Phone: 910-570-8961  
Email: albert.f.cherry.civ@mail.mil

### 3.0 GENERAL CONSTRUCTION REQUIREMENTS

#### 3.1 SUMMARY

##### 3.1.1 The requirements include:

- a. Construction considerations and use of the premises.
- b. Protection of personnel and Government property.
- c. Construction facilities and job site standards.
- d. The requirements of this section apply to the entire project including all amendments or modifications that may be issued to modify the contract documents.

#### 3.2 GENERAL INFORMATION

3.2.1 NOT USED

3.2.2 NOT USED

3.2.3 Coordinate all construction activities with:

- a. Contracting Officer's Representative
- b. Building Occupants

3.2.4 Not Used

3.2.5 Not Used.

3.2.6 Not Used

3.2.7 Not Used

3.2.8 Not Used.

3.2.9 Project and Safety Signs. See 01 50 00, Paragraph 2.1.2.

#### 3.3 DOCUMENTATION

3.3.1 Not Used

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3.3.2 Not Used  
3.4 Not Used

3.5 Not Used

3.6 Not Used

4.0 Not Used

5.0 Not Used

6.0 EXTERIOR EQUIPMENT Document any exterior equipment to be replaced

6.1 Roof mounted solar panels are present on the VA building. All solar panels are to remain. Contractor shall remove, store, and reinstall solar panels. Contractor shall be responsible for replacing any solar panels that are damaged during removal, storage and reinstallation. Any required modifications to the solar panel system to accommodate the roof overlay system shall be the responsibility of the contractor. Contractor shall utilize a solar panel installation contractor to perform the removal and reinstallation of the solar panels.

7.0 Not Used

8.0 Not Used

9.0 STRUCTURAL

The existing structural support system shall be modified by the Contractor as required to accommodate the functional and space requirements in this Task Order RFP. This may require the removal of existing walls or columns and upgrading of the remaining structural elements and further bracing requirements necessitated to ensure structural integrity.

For the warehouse, the contractor shall cover or replace existing translucent panels shown in Attachment B, with metal roofing panels to match existing metal panels.

10.0 NOT USED

11.0 NOT USED

12.0 NOT USED

13.0 Not Used

14. Roof System

14.1 VA - Contractor to install PVC overlay system. Contractor to mechanically fasten insulation/cover board to structural system below roof deck. Contractor to utilize PVC SSMR simulated ribs on PVC overlay system spaced at a maximum of 15 inches on center. PVC system to be fully adhered to cover board/insulation.

14.2 AAFES - Contractor to install PVC overlay system. Contractor to mechanically fasten insulation/cover board to structural system below roof and batt insulation. Contractor to utilize PVC SSMR simulated ribs on PVC overlay

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AS001, Tafuna, American Samoa

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system spaced at a maximum of 15 inches on center. PVC system to be fully adhered to cover board/insulation.

14.3 Warehouse - Contractor to install PVC overlay system. Contractor to mechanically fasten insulation/cover board to structural system below roof. PVC system to be fully adhered to cover board/insulation.

--End of Section --

Amendment 0002

## Attachment A: Photos of Existing Conditions

Photographs are provided as typical conditions and may not be all encompassing.



Warehouse exterior view



Warehouse interior



AAFES Rib profile



AAFES interior





VA Exterior



VA Exterior



VA Exterior



VA Exterior





VA Exterior Solar Panels



VA Exterior Solar Panels



VA Interior



VA Interior





VA Interior

## Attachment B: Existing Conditions

VA Building is an Architectural Standing Seam over a metal deck with 4:12 slope in the structure.  
Assume 4 inch polyiso insulation.

AAFES Building is a Structural Standing Seam with batt insulation 1:12 slope in the structure. Purlins 60" spacing

Warehouse is a R-panel mounted directly to purlins spaced 24". 2:12 slope in the structure No insulation

[illegible]

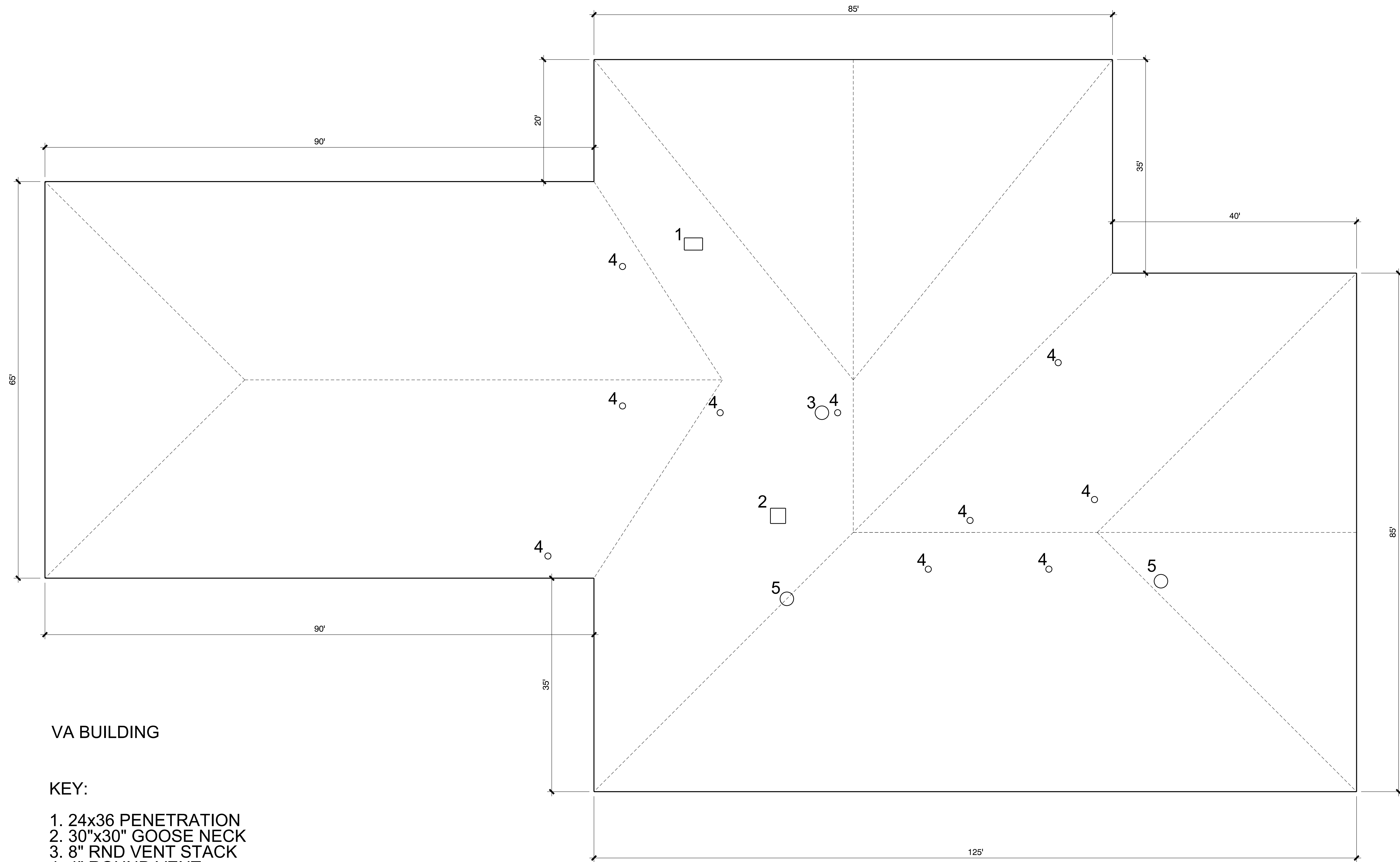
Designed by:	Date:	Rev.
Dwn by:	Ckd by:	Design file no.
Reviewed by:	Drawing code:	
Submitted by:	File name: Plot date: Plot scale:	

AMERICAN SAMOA

# RANGE AND TRAINING LAND PROGRAM STANDARD DESIGN MANUAL

AS001

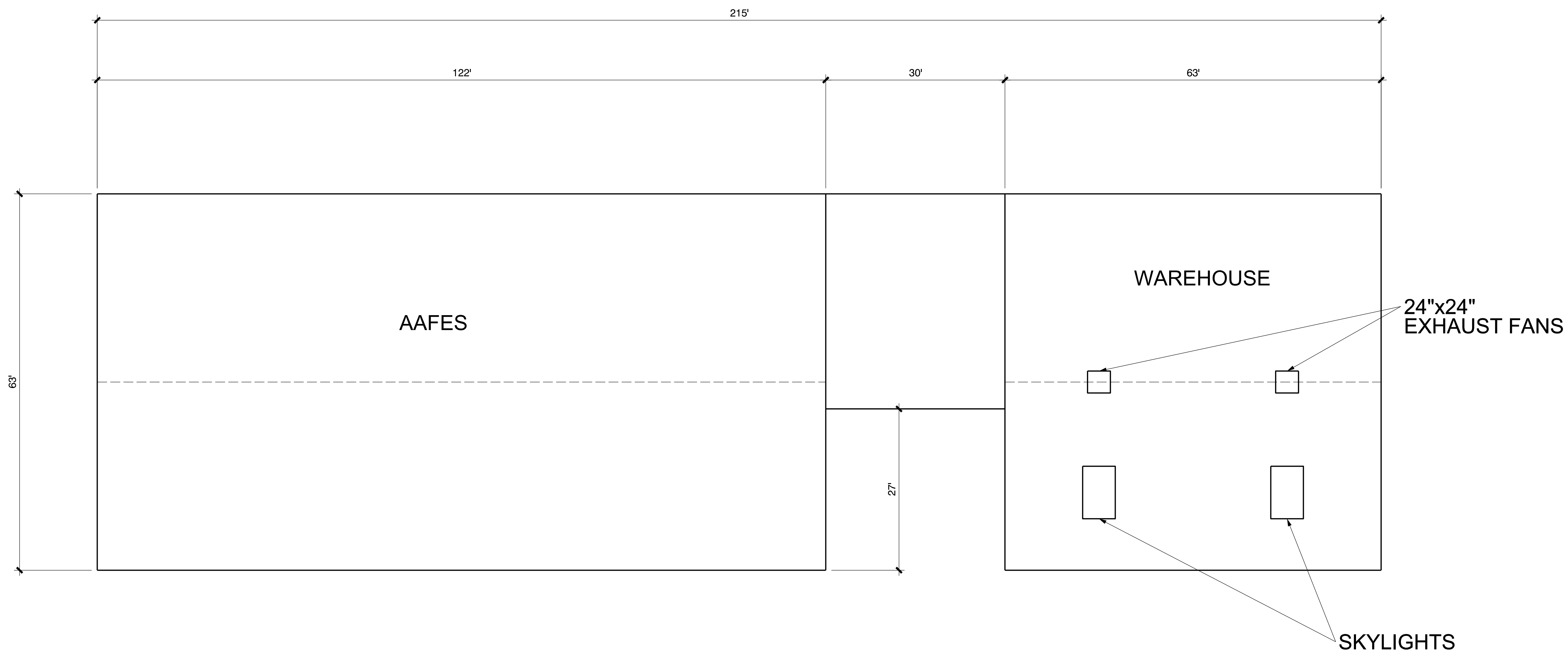
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reference  
number:



VA BUILDING

KEY:

1. 24x36 PENETRATION
2. 30"x30" GOOSE NECK
3. 8" RND VENT STACK
4. 4" ROUND VENT
5. ANTENNA MAST



US Army Corps  
of Engineers

[illegible]

AMERICAN SAMOA	Designed by:		Date:	Rev.
	Drawn by:	Checked by:	Design file no.	
	Reviewed by:		Drawing code:	
	Submitted by:		File name:	
			Plot date:	
			Plot scale:	

# RANGE AND TRAINING LAND PROGRAM STANDARD DESIGN MANUAL

AS001

Sheet  
reference  
number:


Attachment C: Site Location





# AS001 Site Location

Tufana, American Samoa

Legend

 AS001

 Tafuna High School

 The American Samoa CBOC

Amendment 0002



Google Earth





National Roofing Program (NRP) FY20 MATOC  
Volume 2  
Corrected Final

Seed Project 2  
CA150  
1481 Railroad Ave, Vallejo, CA  
Replace Ballasted Built-up Roof with PVC Single Ply

NRP FY20 Seed Project 2  
Vallejo, California, CA150P2 472474  
January 2020

Amendment 0002

SECTION  
00 80 50.00 06

## SPECIAL PROVISIONS FOR TASK ORDERS

## PART 1 GENERAL

1.1 NOT USED

1.2 NOT USED

1.3 NOT USED

## 1.4 TIME EXTENSIONS FOR UNUSUALLY SEVERE WEATHER. ER 415-1-15

This provision specifies the procedure for the determination of time extensions for unusually severe weather in accordance with the "Default (Fixed-Price Construction)" as discussed in Section 00 70 00 of the base contract and Section 00 70 50 of this task order. In order for the Contracting Officer to award a time extension under this clause, the following conditions must be satisfied:

The weather experienced at the project site during the contract period must be found to be unusually severe, that is, more severe than the adverse weather anticipated for the project location during any given month.

The unusually severe weather must actually cause a delay to the completion of the project. The delay must be beyond the control and without the fault or negligence of the Contractor.

The following schedule of monthly anticipated adverse weather delays is based on National Oceanic and Atmospheric Administration (NOAA) or similar data for the project location and will constitute the base line for monthly weather time evaluations. The Contractor's progress schedule must reflect these anticipated adverse weather delays in weather dependent activities.

MONTHLY ANTICIPATED ADVERSE WEATHER DELAY  
WORK DAYS BASED ON (5) DAY WORK WEEK

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
CA150	21	19	17	7	1	0	0	0	1	1	8	19

Upon acknowledgment of the Notice to Proceed (NTP) and continuing throughout the contract, the Contractor will record on the daily CQC report, the occurrence of adverse weather and resultant impact to normally scheduled work. Actual adverse weather delay days must prevent work on critical activities for 50 percent or more of the Contractor's scheduled work day. The number of actual adverse weather delay days shall include days impacted by actual adverse weather (even if adverse weather occurred in previous month), be calculated chronologically from the first to the last day of each month, and be recorded as full days. If the number of actual adverse weather delay days exceeds the number of days anticipated listed above, the Contracting Officer will convert any qualifying delays to calendar days, giving full consideration for equivalent fair weather work days, and issue a modification in accordance with the "Default (Fixed-Price Construction)" in section 00 70 00 of the base contract, Volume 1 .

NRP FY20 Seed Project 2  
Vallejo, California, CA150

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#### 1.5 WAGE RATES

The decision of the Secretary of Labor, covering rates of wages, including fringe benefits to be paid laborers and mechanics performing work under this contract, is attached to this solicitation. The payment for all classes of laborers and mechanics actually employed to perform work under the contract will be specified in the following contract provisions: "Contract Work Hours and Safety Standards -- Overtime Compensation"; "Construction Wage Rate Requirements"; and, "Compliance with Copeland Act Requirements" in Section 00 70 00 of the base contract.

Wage decision included is: CA20190007 Building

The work to be performed is located in the State of California, Solano County.

1.6 Not Used

1.7 Not Used

1.8 Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 NOT USED

1.14 NOT USED

1.15 NOT USED

1.16 NOT USED

1.17 NOT USED

1.18 NOT USED

1.19 NOT USED

1.20 NOT USED

1.21 NOT USED

1.22 NOT USED

1.23 NOT USED

1.24 NOT USED

1.25 NOT USED

1.26 NOT USED

NRP FY20 Seed Project 2  
Vallejo, California, CA150

P2 472474  
January 2020

PART 2 PRODUCTS NOT USED

PART 3 EXECUTION NOT USED

Amendment 0002

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER											
JOB NAME: Seed Project 2																					
LOCATION: CA150 Vallejo, CA																					
CONTRACT NO:																					
CONTRACTOR:																					
SB MATOC										CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY					
Line	Act-ivity #	Trans-mittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classi-fication: GA for GOVT or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks	
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Labor, Equipment and Material Reports	1.19	GA													
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			00 80 50.00 06 Vol 2	SD-07	Certificates	Monthly AT Training Roster	4.1.8	GA													
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			1 80 00.00 06 Vol 1	SD-12	Closeout Submittals	Final Borrow Pit/Spoil Area Contour Map	1.7.3(h) or 1.8.4	GA													

FY20 NRP Seed Project 21  
Vallejo, California CA150

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SECTION  
01 11 50.00 06

Task Order SCOPE OF WORK

1.0 PROJECT INFORMATION

1.1 GENERAL

**Design/Build:** The Contractor shall provide all labor, equipment, supplies, and consultant services and all site investigations, surveys, analysis, sampling, testing and verification of existing field conditions as required for design and construction of the Roof Replacement Project at CA150 to result in a complete and useable Facility. Contractor shall provide complete design analysis incorporating all engineering computations, analysis, test and survey results, building code (including fire protection, environmental and accessibility) review as it pertains/affects/relates to this project, equipment and material data and documentation of existing conditions.

1.2 SCOPE OF WORK

Unless specifically noted otherwise in this Specification Section or in the base MATOC contract Volume 1 of 2 itself, all requirements of the base MATOC contract Volume 1 of 2 shall apply to this Task Order. The work includes design and construction to replace the roofing systems on Building 1296 at CA150 with a PVC membrane roofing system.

**Design/Build:** Design and construction shall comply with the requirements contained in this Task Order Request for Proposal (RFP). The design and technical criteria contained and cited in this RFP and the Unified Facilities Guide Specifications (UFGS) establish minimum standards for design and construction quality. The Designers of Record shall use the Unified Facilities Guide Specifications (UFGS) and the requirements contained in this RFP to fully develop the technical specifications and construction drawings. The objective of this solicitation is to obtain an energy efficient, durable, maintainable and sustainable space.

**Design/Build:** The illustrations and exhibits included in this RFP illustrate the conceptual design of the project and are provided to define the scope of work and budget. The concepts provided shall be further developed by the Design/Build Contractor to comply with the customer's functional needs.

All demolition required to construct the project is included as part of the work of this Contract.

1.3 SITE LOCATION

This project is located at 1481 Railroad Ave, Vallejo, CA.

1.4 EXISTING SITE UTILITIES

1.4.1 The contractor shall verify the location and capacity of all utilities serving the building. Upgrading the existing utilities, (unless noted otherwise) outside the limits of construction, is not a part of this project.

1.5 BID OPTIONS



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Vallejo, California CA150

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NOT USED

## 1.6 ATTACHMENTS

**Design/Build:** Information provided in the Attachments is intended to guide the completion of the design by establishing existing conditions, and the desired character, appearance, and function of the new construction. The following Attachments are included and shall be used and strictly adhered-to in completing the design and construction of the project.

- a. ATTACHMENT A:       Photos of Existing Conditions
- b. ATTACHMENT B:       Existing Conditions
- c. ATTACHMENT C:       Site Location

1.7       Not Used

1.8       Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 Not Used

## 2.0 DESIGN REQUIREMENTS

### 2.1 GENERAL

The Contractor shall prepare complete construction documents for all work designed as required by the RFP. The construction documents to be prepared shall include, but are not limited to, construction drawings, specifications, submittals, and design analysis as required in Section 01 33 16.00 10 DESIGN DATA (DESIGN AFTER AWARD), Volume 1. Materials and equipment shall be limited to those specified except that where no specific material and equipment is specified or no basis of design is identified, the Contractor shall use materials and equipment accepted within the construction industry and in compliance with Design Criteria.

### 2.2 DESIGN

2.2.1 The Contractor shall prepare a 100% design for the project in accordance with the RFP using industry standard materials and efficient practices. The design of the materials selected shall be high quality, durable and easily maintained. The Contractor shall be responsible for the professional quality, code compliance, technical accuracy, and coordination of all designs, drawings, specifications, and other documents or publications upon which the design and construction are based. It shall be the responsibility of the Design/ Build Contractor to verify the accuracy of the documents provided.

#### 2.2.2 Design Milestone Schedule

FY20 NRP Seed Project 21  
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Notice to Proceed (NTP)	Day 0
Charette Report (FIO no review)	NTP + 45 Days
Interim Submittal (FIO no review)	NTP + 75 Days
Draft Final	NTP + 105 days
Corrected Final/Issue for Construction Submittal	NTP + 150 days

## 2.3 REQUEST FOR PROPOSAL (RFP) INTENT

The intent of this RFP section is to describe the requirements for appearance, function, materials, and types of construction in sufficient detail to enable engineering and design to be completed by the Contractor.

2.4 NOT USED

2.5 NOT USED

2.6 Not Used

2.7 NOT USED

2.8 NOT USED

2.9 NOT USED

2.10 NOT USED

2.11 Not Used

## 2.12 GOVERNMENT FURNISHED MATERIALS

### 2.12.1 GFM Handover

The GFM has been provided as part of the Solicitation package.

### 2.12.2 GFM File Formats

GFM are provided only in PDF format.

## 2.13 DESIGN SUBMITTAL DISTRIBUTION MATRIX

### Submittal Reviewers & Mailing Addresses

U.S. Army Corps of Engineers  
Timothy M. McClellan, P.E., RRC  
Timothy.m.mcclellan@usace.army.mil  
LRL-ED-MA Room 872C  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers  
Carl Lindsay II, CMIT  
[Carl.L.Lindsay@usace.army.mil](mailto:Carl.L.Lindsay@usace.army.mil)  
LRL-CD

FY20 NRP Seed Project 21  
Vallejo, California CA150

P2 472474  
December 2019

600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers  
Jeffrey E. Bayers, P.E., P.M.P.  
[Jeffrey.e.bayers@usace.army.mil](mailto:Jeffrey.e.bayers@usace.army.mil)  
LRL-PM-R  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

Albert F. Cherry  
USARC-ARIMD Engineering Branch  
Program Manager: BUILDER, NRP, & FRP  
Phone: 910-570-8961  
Email: albert.f.cherry.civ@mail.mil

### 3.0 GENERAL CONSTRUCTION REQUIREMENTS

#### 3.1 SUMMARY

##### 3.1.1 The requirements include:

- a. Construction considerations and use of the premises.
- b. Protection of personnel and Government property.
- c. Construction facilities and job site standards.
- d. The requirements of this section apply to the entire project including all amendments or modifications that may be issued to modify the contract documents.

#### 3.2 GENERAL INFORMATION

3.2.1 NOT USED

3.2.2 NOT USED

3.2.3 Coordinate all construction activities with:

- a. Contracting Officer's Representative
- b. Building Occupants

3.2.4 Not Used

3.2.5 Not Used.

3.2.6 Not Used

3.2.7 Not Used

3.2.8 Not Used.

3.2.9 Project and Safety Signs. See 01 50 00, Paragraph 2.1.2.

3.3 Not Used

3.4 Not Used

3.5 Not Used

FY20 NRP Seed Project 21  
Vallejo, California CA150

P2 472474  
December 2019

Amendment 0002

3.6 Not Used

4.0 Not Used

5.0 Not Used

6.0 Not Used

7.0 Not Used

8.0 Not Used

9.0 Not Used

10.0 Not Used

11.0 Not Used

12.0 Not Used

13.0 Not Used

14. Roof System

14.1 Contractor to replace existing roof system with PVC roof system.

--End of Section --

## Attachment A: Photos of Existing Conditions

Photographs are provided as typical conditions and may not be all encompassing.





Overview of roof



Overview of roof





Typical expansion joint



Typical HVAC equipment





Typical HVAC equipment. Replace all curbs and supports for rooftop equipment.



Roof access hatch. Add supports for all plumbing and electrical conduit where missing.





Overview of roof and typical HVAC equipment. Replace all curbs and supports for rooftop equipment.



Overview of roof





Overview of roof



Overview of roof





Corner



Over view of lower roof section



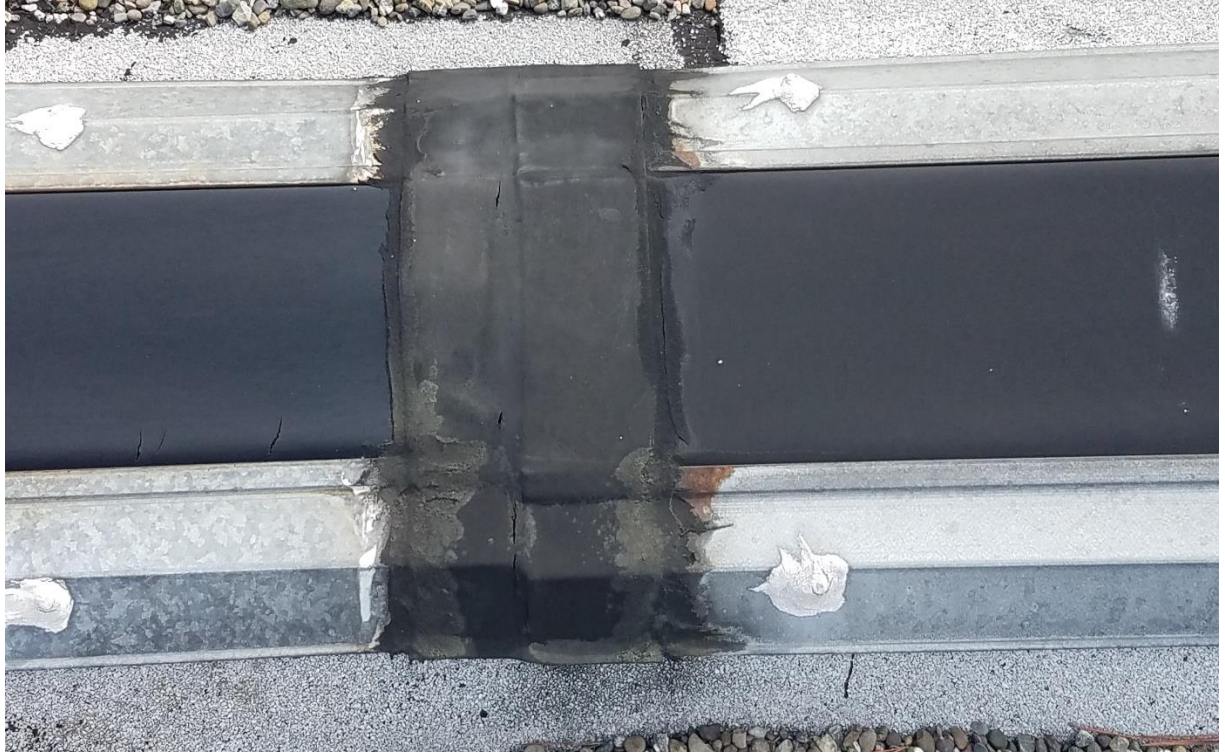


Typical upper roof section



Damaged expansion joint





Repair to expansion joint



Overview of lower roof section





Overview of lower roof section. Electric line to remain. Replace all electrical and plumbing supports.



Debris on roof to be removed by contractor





Flashing with covered weeps.



Typical coping cap. Replace all electrical and plumbing supports





Typical coping cap. Replace all electrical and plumbing supports



Typical Corner and Electrical Conduit.





Install new electrical and plumbing supports where they are missing



Core cut revealed two  
mopped on roofs with  
aggregate. No  
insulation present on  
structural concrete  
roof deck.

Typical core cut



Minimal flashing height between roof surface and windows. Contractor to design solution to ensure 20 year NDL warranty

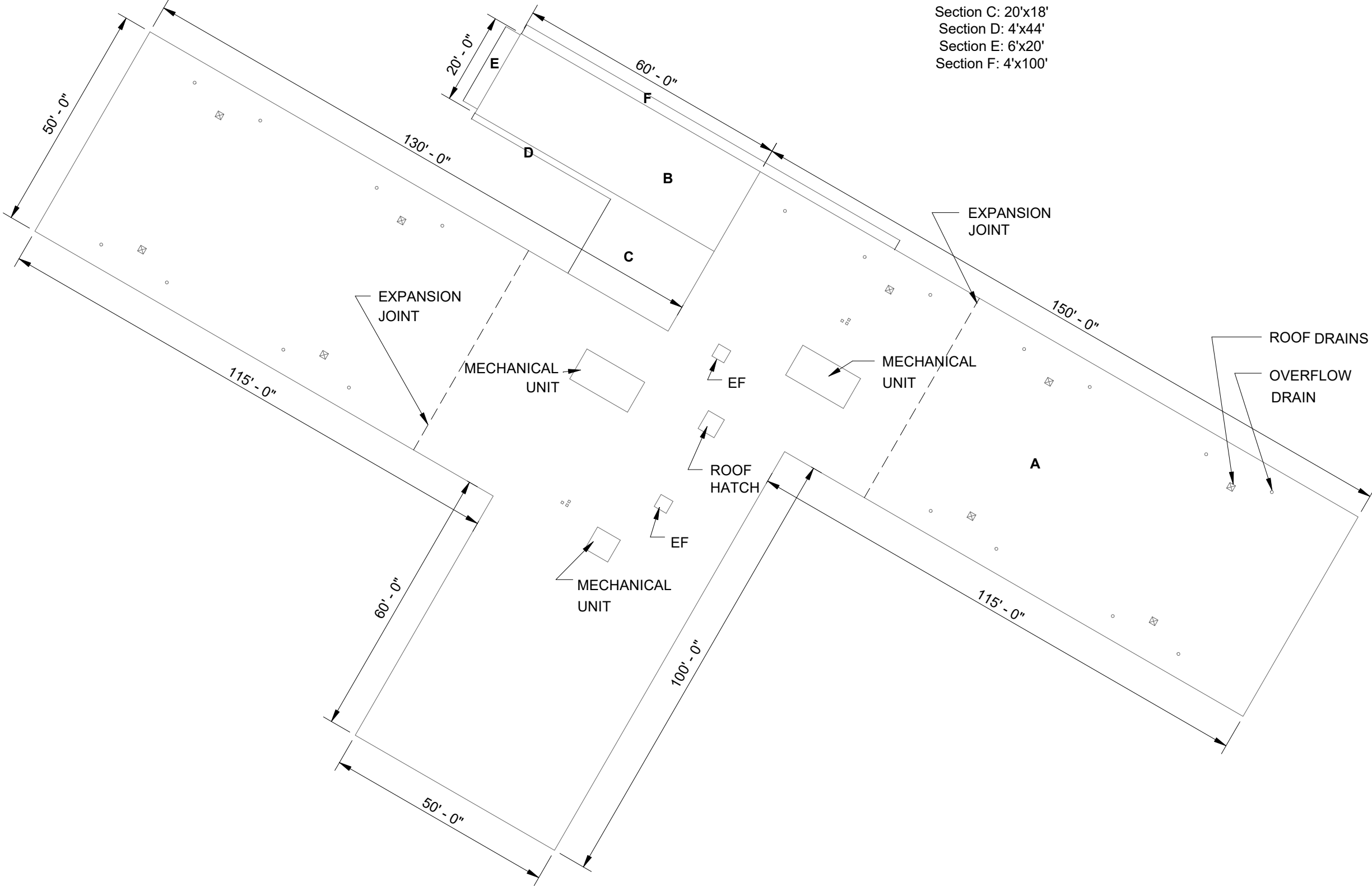


Minimal flashing height between roof surface and windows. Contractor to design solution to ensure 20 year NDL warranty

## Attachment B: Existing Conditions

A majority of the roofs are gravel surfaced built-up roofs placed over insulation on existing metal decks. Roof slope of 1/4 per 12 is built into the structure.





US ARMY  
CORPS of  
ENGINEERS

Attachment C: Site Location

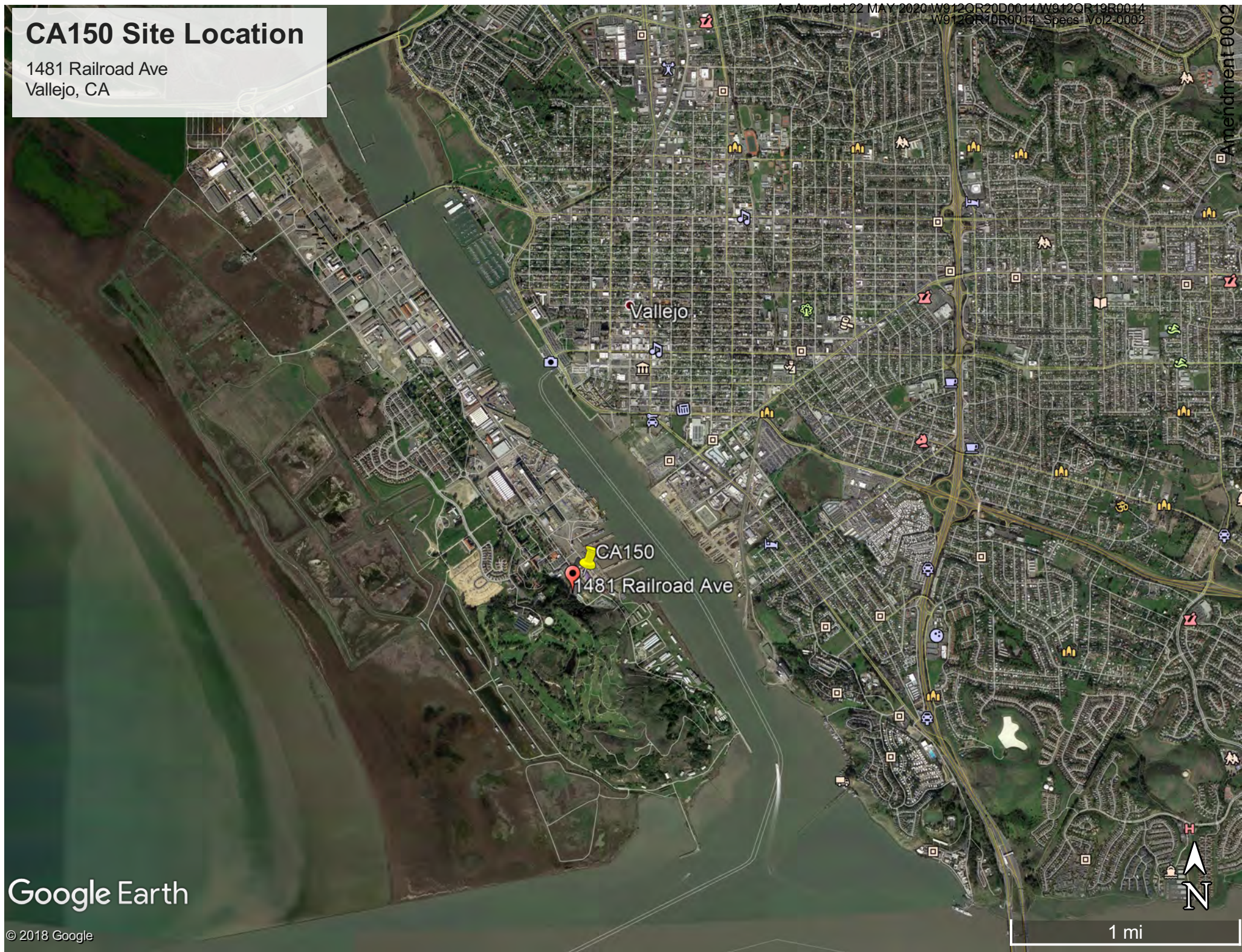


# CA150 Site Location

1481 Railroad Ave  
Vallejo, CA

As Awarded 22 MAY 2020 W912QR20D0014 W912QR19R0014  
W912QR19R0014 Specs Vol2 0082

Amendment 0002



Google Earth



# CA150 Building 1296

1481 Railroad Ave  
Vallejo, CA

As Awarded 22 MAY 2020 W912QR20D0014/W912QR19R0014  
W912QR10R0014\_Specs\_Vol2-0002

Amendment 0002



Google Earth

© 2018 Google



100 ft



National Roofing Program (NRP) FY20 MATOC  
Volume 2  
Corrected Final

Seed Project 3  
FL125  
3000 8th Street, Orlando, FL  
Replace Mod Bit roof with Mod Bit Roof



NRP FY20 MATOC Seed Project 3  
Orlando, FL FL125472474  
January 2020

Amendment 0002

SECTION  
00 80 50.00 06

## SPECIAL PROVISIONS FOR TASK ORDERS

08/19

## PART 1 GENERAL

1.1 NOT USED

1.2 NOT USED

1.3 NOT USED

## 1.4 TIME EXTENSIONS FOR UNUSUALLY SEVERE WEATHER. ER 415-1-15

This provision specifies the procedure for the determination of time extensions for unusually severe weather in accordance with the "Default (Fixed-Price Construction)" as discussed in Section 00 70 00 of the base contract and Section 00 70 50 of this task order. In order for the Contracting Officer to award a time extension under this clause, the following conditions must be satisfied:

The weather experienced at the project site during the contract period must be found to be unusually severe, that is, more severe than the adverse weather anticipated for the project location during any given month.

The unusually severe weather must actually cause a delay to the completion of the project. The delay must be beyond the control and without the fault or negligence of the Contractor.

The following schedule of monthly anticipated adverse weather delays is based on National Oceanic and Atmospheric Administration (NOAA) or similar data for the project location and will constitute the base line for monthly weather time evaluations. The Contractor's progress schedule must reflect these anticipated adverse weather delays in weather dependent activities.

MONTHLY ANTICIPATED ADVERSE WEATHER DELAY  
WORK DAYS BASED ON (5) DAY WORK WEEK

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
FL125	18	21	19	11	4	7	10	9	5	4	14	19

Upon acknowledgment of the Notice to Proceed (NTP) and continuing throughout the contract, the Contractor will record on the daily CQC report, the occurrence of adverse weather and resultant impact to normally scheduled work. Actual adverse weather delay days must prevent work on critical activities for 50 percent or more of the Contractor's scheduled work day. The number of actual adverse weather delay days shall include days impacted by actual adverse weather (even if adverse weather occurred in previous month), be calculated chronologically from the first to the last day of each month, and be recorded as full days. If the number of actual adverse weather delay days exceeds the number of days anticipated listed above, the Contracting Officer will convert any qualifying delays to calendar days, giving full consideration for equivalent fair weather work

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Orlando, FL FL125

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days, and issue a modification in accordance with the "Default (Fixed-Price Construction)" in section 00 70 00 of the base contract, Volume 1 .

#### 1.5 WAGE RATES

The decision of the Secretary of Labor, covering rates of wages, including fringe benefits to be paid laborers and mechanics performing work under this contract, is attached to this solicitation. The payment for all classes of laborers and mechanics actually employed to perform work under the contract will be specified in the following contract provisions: "Contract Work Hours and Safety Standards -- Overtime Compensation"; "Construction Wage Rate Requirements"; and, "Compliance with Copeland Act Requirements" in Section 00 70 00 of the base contract.

Wage decision included is FL20190218 Building

The work to be performed is located in the State of Florida, Orange County

1.6 Not Used

1.7 Not Used

1.8 Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 NOT USED

1.14 NOT USED

1.15 NOT USED

1.16 NOT USED

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1.24 NOT USED

NRP FY20 MATOC Seed Project 3  
Orlando, FL FL125

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January 2020

1.25 NOT USED

1.26 NOT USED

PART 2 PRODUCTS NOT USED

PART 3 EXECUTION NOT USED

Amendment 0002

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 3																				
LOCATION: FL125 Orlando, FL																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC								CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY						
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JOB NAME: Seed Project 3																				
LOCATION: FL125 Orlando, FL																				
CONTRACT NO:																				
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Orlando, FL FL125

P2 472474  
December 2019

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SECTION  
01 11 50.00 06

Task Order SCOPE OF WORK

1.0 PROJECT INFORMATION

1.1 GENERAL

**Design/Build:** The Contractor shall provide all labor, equipment, supplies, and consultant services and all site investigations, surveys, analysis, sampling, testing and verification of existing field conditions as required for design and construction of the Roof Replacement Project at FL125 to result in a complete and useable Facility. Contractor shall provide complete design analysis incorporating all engineering computations, analysis, test and survey results, building code (including fire protection, life safety, environmental and accessibility) review as it pertains/affects/relates to this project, equipment and material data and documentation of existing conditions.

1.2 SCOPE OF WORK

Unless specifically noted otherwise in this Specification Section or in the base MATOC contract Volume 1 of 2 itself, all requirements of the base MATOC contract Volume 1 of 2 shall apply to this Task Order. The work includes design and construction to replace the roofing system at FL125 with a two ply modified bitumen roofing system.

**Design/Build:** Design and construction shall comply with the requirements contained in this Task Order Request for Proposal (RFP). The design and technical criteria contained and cited in this RFP and the Unified Facilities Guide Specifications (UFGS) establish minimum standards for design and construction quality. The Designers of Record shall use the Unified Facilities Guide Specifications (UFGS) and the requirements contained in this RFP to fully develop the technical specifications and construction drawings. The objective of this solicitation is to obtain an energy efficient, durable, maintainable and sustainable space.

**Design/Build:** The illustrations and exhibits included in this RFP illustrate the conceptual design of the project and are provided to define the scope of work and budget. The concepts provided shall be further developed by the Design/Build Contractor to comply with the customer's functional needs.

All demolition required to construct the project is included as part of the work of this Contract.

1.3 SITE LOCATION

This project is located at 3000 8th St, Orlando, FL.

1.4 EXISTING SITE UTILITIES

FY20 NRP MATOC Seed Project 3  
Orlando, FL FL125

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1.4.1 The contractor shall verify the locations and capacity of all utilities serving the building. Upgrading the existing utilities, (unless noted otherwise) outside the limits of construction, is not a part of this project.

1.5 BID OPTIONS

NOT USED

1.6 ATTACHMENTS

**Design/Build:** Information provided in the Attachments is intended to guide the completion of the design by establishing existing conditions, and the desired character, appearance, and function of the new construction. The following Attachments are included and shall be used and strictly adhered-to in completing the design and construction of the project.

- a. ATTACHMENT A: Photos of Existing Conditions
- b. ATTACHMENT B: Existing Conditions
- c. ATTACHMENT C: Site Location

1.7 NOT USED

1.8 NOT USED

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 NOT USED

2.0 DESIGN REQUIREMENTS

2.1 GENERAL

The Contractor shall prepare complete construction documents for all work designed as required by the RFP. The construction documents to be prepared shall include, but are not limited to, construction drawings, specifications, submittals, and design analysis as required in Section 01 33 16.00 10 DESIGN DATA (DESIGN AFTER AWARD), Volume 1. Materials and equipment shall be limited to those specified except that where no specific material and equipment is specified or no basis of design is identified, the Contractor shall use materials and equipment accepted within the construction industry and in compliance with Design Criteria.

2.2 DESIGN

2.2.1 The Contractor shall prepare a 100% design for the project in accordance with the RFP using industry standard materials and efficient practices. The design of the materials selected shall be high quality, durable and easily maintained. The Contractor shall be responsible for the professional quality, code compliance, technical accuracy, and coordination

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of all designs, drawings, specifications, and other documents or publications upon which the design and construction are based. It shall be the responsibility of the Design/ Build Contractor to verify the accuracy of the documents provided.

#### 2.2.2 Design Milestone Schedule

Notice to Proceed (NTP)	Day 0
Charette Report (FIO no review)	NTP + 30 Days
Interim Submittal (FIO no review)	NTP + 60 Days
Draft Final	NTP + 105 days
Corrected Final/Issue for Construction Submittal	NTP + 150 days

#### 2.3 REQUEST FOR PROPOSAL (RFP) INTENT

The intent of this RFP section is to describe the requirements for appearance, function, materials, and types of construction in sufficient detail to enable engineering and design to be completed by the Contractor.

2.4 NOT USED

2.5 NOT USED

2.6 Not Used

2.7 NOT USED

2.8 NOT USED

2.9 NOT USED

2.10 NOT USED

2.11 NOT USED

#### 2.12 GOVERNMENT FURNISHED MATERIALS

##### 2.12.1 GFM Handover

The GFM has been provided as part of the Solicitation package.

##### 2.12.2 GFM File Formats

GFM are provided only in PDF format.

#### 2.13 DESIGN SUBMITTAL DISTRIBUTION MATRIX

Submittal Reviewers & Mailing Addresses	Copies Required
---	-----------------

U.S. Army Corps of Engineers Timothy M. McClellan, P.E., RRC Timothy.m.mcclellan@usace.army.mil LRL-ED-MA Room 872C	
--	--

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600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers  
Carl Lindsay II, CMIT  
[Carl.L.Lindsay@usace.army.mil](mailto:Carl.L.Lindsay@usace.army.mil)  
LRL-CD  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers  
Jeffrey E. Bayers, P.E., P.M.P.  
[Jeffrey.e.bayers@usace.army.mil](mailto:Jeffrey.e.bayers@usace.army.mil)  
LRL-PM-R  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

Albert F. Cherry  
USARC-ARIMD Engineering Branch  
Program Manager: BUILDER, NRP, & FRP  
Phone: 910-570-8961  
Email: [albert.f.cherry.civ@mail.mil](mailto:albert.f.cherry.civ@mail.mil)

### 3.0 GENERAL CONSTRUCTION REQUIREMENTS

#### 3.1 SUMMARY

##### 3.1.1 The requirements include:

- a. Construction considerations and use of the premises.
- b. Protection of personnel and Government property.
- c. Construction facilities and job site standards.
- d. The requirements of this section apply to the entire project including all amendments or modifications that may be issued to modify the contract documents.

#### 3.2 GENERAL INFORMATION

3.2.1 NOT USED

3.2.2 NOT USED

3.2.3 Coordinate all construction activities with:

- a. Contracting Officer's Representative
- b. Building Occupants

3.2.4 Not Used

3.2.5 Not Used

3.2.6 Not Used

3.2.7 Not Used

3.2.8 Not Used

3.2.9 Project and Safety Signs. See 01 50 00, Paragraph 2.1.2.

SECTION 01 11 50.00 06

FY20 NRP MATOC Seed Project 3  
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3.3 Not Used

3.4 Not Used

3.5 Not Used

3.6 Not Used

4.0 Not Used

5.0 Not Used

6.0 Not Used

7.0 Not Used

8.0 Not Used

9.0 Not Used

10.0 Not Used

11.0 Not Used

12.0 Not Used

13.0 Not Used

14. Roof System

14.1 Replace existing roof system with two ply modified bitumen roofing system.

--End of Section --



## Attachment A: Photos of Existing Conditions

Photographs are provided as typical conditions and may not be all encompassing.



Deck



Deck



Typical Penetration



Drain Bowl





Wall between sections



Parapet





Section A



Section B





Drain on Section C with overflow scupper



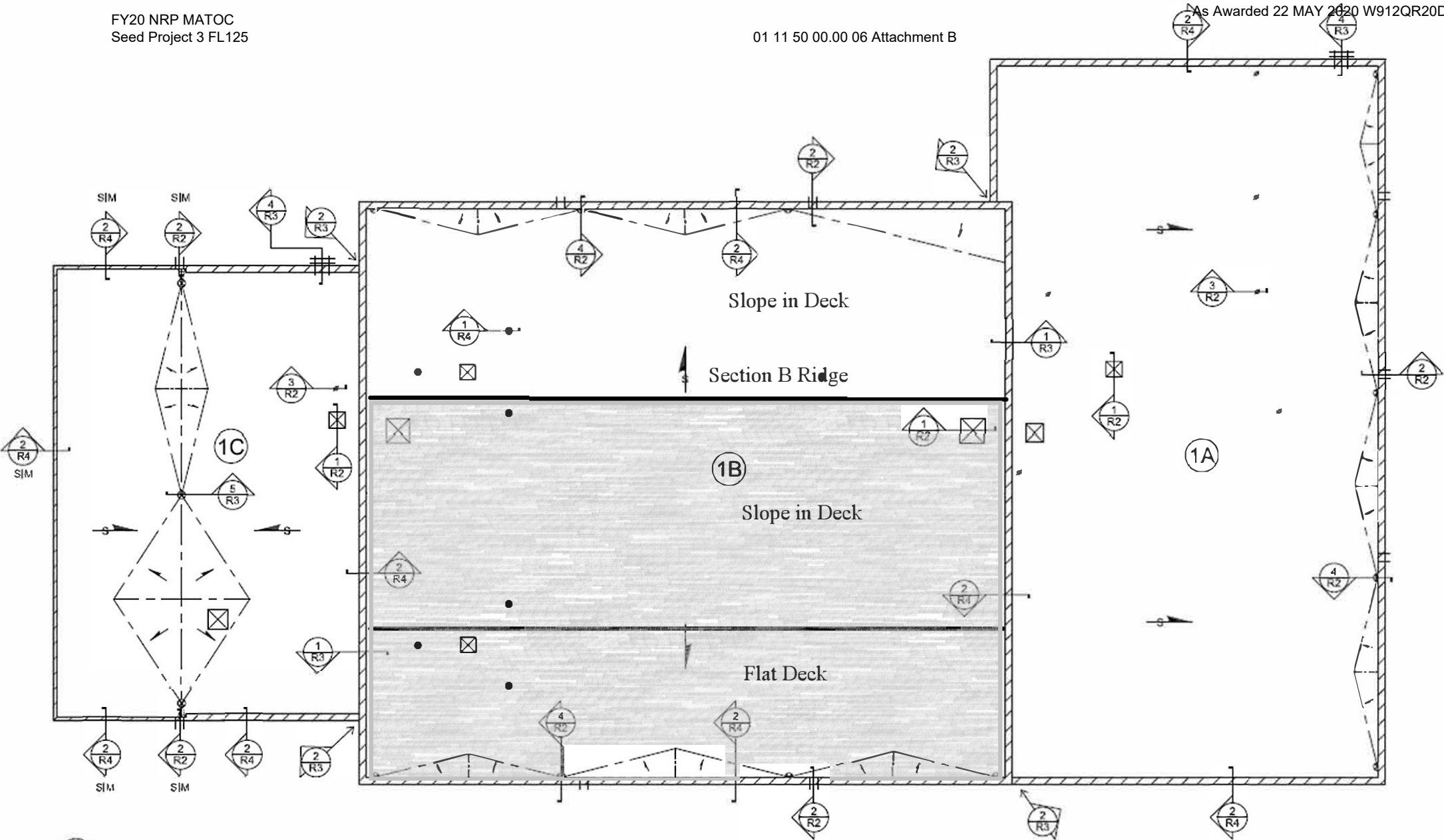
Section C

## Attachment B: Existing Conditions

### Existing Facility and Systems:

Roofing on all Sectors generally consists of a modified bitumen cap sheet adhered in asphalt over an asphalt built-up roof adhered in asphalt over a ½-inch wood fiberboard adhered in asphalt to a 2.75-inch layer of polyisocyanurate insulation mechanically attached to a steel deck.

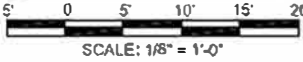
**Slope is 1/2:12 in the structural system.**



Section with 1/2" per foot slope in deck on northern portion and flat deck on southern portion. Slope for roof membrane approximately 1/4" per foot for entire section.

ROOF SECTOR	SQUARE FOOTAGE
1A	4,328
1B	5,986
1C	2,217
TOTAL	12,531

KEY	
	ROOF EDGE
	RIDGE/VALLEY
	ROOF PARAPET
	OVERFLOW SCUPPER
	LADDER BRACE
	ROOF DRAIN
	SCUPPER DRAIN
	PIPE PENETRATION
	SOIL STACK
	CURB
	STRUCTURAL SLOPE
	INSULATION SLOPE



2 ROOF PLAN  
R1 1/8"=1'-0"

# ROOF CONDITION SURVEY

81<sup>st</sup> RRC

FL125 – ORLANDO, FLORIDA

MARCH 2008

Facility: FL125  
3000 8th Street  
Orlando  
Florida  
32827  
U.S.A.

Contact Name: Homer Willis

Contact Telephone: (800) 221-9401 Ext:1133

Contact Fax: ( ) -

Date of Last Inspection: Feb 06, 2008




Type of Building: Army Reserve Center

Type of Neighborhood: Commercial





## RoofSection List

Photo	Section / Name / Year Installed	Size / Height	Roof Type	Condition Index/ *RCI/ ASLR(Yrs)	Estimated Replacement Value
	1A Office area 2000	4,328 sq. ft. 17 ft.	Built-Up Asphalt Roofing	Good 70 12(Yrs)	
	1B Maintenance Area 2000	5,986 sq. ft. 20 ft.	Built-Up Asphalt Roofing	Good 70 12(Yrs)	
	1C Office area 2000	2,213 sq. ft. 17 ft.	Built-Up Asphalt Roofing	Good 75 12(Yrs)	
		12,527			
*RCI Rating 0 -100 where 100 is excellent					

Roof Name: Office area

Roof Size: 4,328 sq. ft.

Est. replacement Cost:

Existing System Type: Built-Up Asphalt Roofing

Year Installed: 2000

Assessed Service Life : 12  
Remaining (Years) :

Height: 17 Ft.

Slope: 1/2" per ft.

Interior Sensitivity: Normal Sensitivity

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

Drainage and Leak  
Details:




## Existing Roof System Construction

Layer Type	Description	Method Of Attachment
Membrane	Mod Bit - 1 ply	Hot asphalt
Membrane	BUR - 3 ply	Hot asphalt
Insulation	Fiberboard	Hot asphalt
Insulation	Polyisocyanurate	Mechanically attached
Deck	Metal	Mechanically attached

## Overall Core Condition




Wood fiberboard insulation is 1/2" thick. Polyisocyanurate insulation is 2-3/4" thick. All materials are dry at this location.

## Core Photos

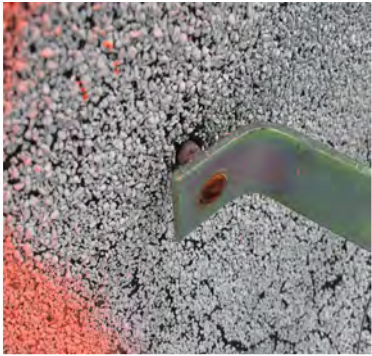


Photos	Date	Description
	Feb 06, 2008	Core cut #1



## Membrane Defects - Outstanding

Photos	Type Of Defect	Severity	Details
	Cntrflsg: open sealant	Moderate	Counterflashing sealant is deteriorating.
	Membrane: blister	Minor	Blisters are present at various locations. Blisters appear to be in the surface ply only.
	Membrane: open seam	Moderate	Surface ply seams are open to varying degree. Isolated wrinkles have water inside.
	Coping: poor coping cap	Minor	Isolated fasteners are loose at the coping cap.

## Membrane Defects - Outstanding Continued...

Photos	Type Of Defect	Severity	Details
	Base flsg: poor penetration	Moderate	Antenna brackets are secured through the base flashing. Fasteners are not suitable for an exposed condition.
	Base flsg: open top/lap/term.	Moderate	Isolated base flashing laps are open.
	Membrane: eroded surfacing	Moderate	Surface ply is weathered and granules are eroded.

Roof Top Details				
Detail Type	Description	Flashing Membrane	Flashing Metal	Additional Details and Condition
Drain/Scupper	External scupper	Mod bit - 1 ply	Painted steel	
Drain/Scupper	Overflow scupper	Mod bit - 1 ply	Aluminum	
Equipment	Exhaust vent	Mod bit - 1 ply	Not applicable	
Perimeter	Parapet wall	Mod bit - 1 ply	Prepainted metal	
Perimeter	Wall	Mod bit - 1 ply	Prepainted metal	
Projection	Soil stack	Mod bit - 1 ply	Lead	



End of the Roof Section

Office area Roof - 1A



Roof Name: Maintenance Area

Roof Size: 5,986 sq. ft.

Est. replacement Cost: \$

Existing System Type: Built-Up Asphalt Roofing

Year Installed: 2000

Assessed Service Life  
Remaining (Years): 12

Height: 20 Ft.

Slope: 1/2" per ft.

Interior Sensitivity: Normal Sensitivity

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

Drainage and Leak  
Details:




## Existing Roof System Construction

Layer Type	Description	Method Of Attachment
Membrane	Mod Bit - 1 ply	Hot asphalt
Membrane	BUR - 3 ply	Hot asphalt
Insulation	Fiberboard	Hot asphalt
Insulation	Polyisocyanurate	Mechanically attached
Deck	Metal	Mechanically attached

## Overall Core Condition





Wood fiberboard insulation is 1/2" thick. Polyisocyanurate insulation is 2-3/4" thick. All materials are dry at this location. Steel deck is rusted at this location.

## Core Photos


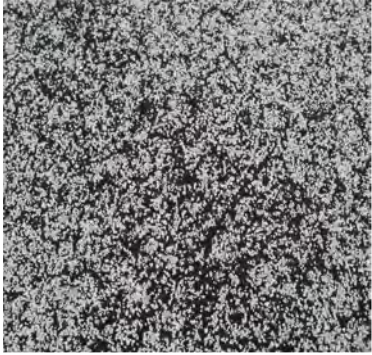
Photos	Date	Description
	Feb 06, 2008	Core cut #1



## Membrane Defects - Outstanding

Photos	Type Of Defect	Severity	Details
	Membrane: blister	Minor	Blisters are present at various locations. Blisters appear to be in the surface ply only.
	Membrane: open seam	Moderate	Surface ply seams are open to varying degree. Isolated wrinkles have water inside.
	Coping: poor coping cap	Moderate	Coping cap is damaged. Base flashing appears to lap over the top of the parapet.
	Base flsg: open top/lap/term.	Moderate	Isolated base flashing laps are open.

## Membrane Defects - Outstanding Continued...

Photos	Type Of Defect	Severity	Details
	Equip: poor/missing	Moderate	An open seam is present in an exhaust vent base.
	Membrane: eroded surfacing	Moderate	Surface ply is weathered and granules are eroded.

## Roof Top Details

Detail Type	Description	Flashing Membrane	Flashing Metal	Additional Details and Condition
Drain/Scupper	External scupper	Mod bit - 1 ply	Painted steel	
Drain/Scupper	Overflow scupper	Mod bit - 1 ply	Aluminum	
Equipment	Exhaust vent	Mod bit - 1 ply	Not applicable	
Perimeter	Parapet wall	Mod bit - 1 ply	Prepainted metal	
Projection	Pitch pocket	Mod bit - 1 ply	Aluminum	

End of the Roof Section

Maintenance Area Roof - 1B





Roof Name: Office area

Roof Size: 2,213 sq. ft.

Est. replacement Cost: \$

Existing System Type: Built-Up Asphalt Roofing

Year Installed: 2000

Assessed Service Life  
Remaining (Years): 12

Height: 17 Ft.

Slope: 1/2" per ft.

Interior Sensitivity: Normal Sensitivity

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

Drainage and Leak  
Details:




## Existing Roof System Construction

Layer Type	Description	Method Of Attachment
Membrane	Mod Bit - 1 ply	Hot asphalt
Membrane	BUR - 3 ply	Hot asphalt
Insulation	Fiberboard	Hot asphalt
Insulation	Polyisocyanurate	Mechanically attached
Deck	Metal	Mechanically attached



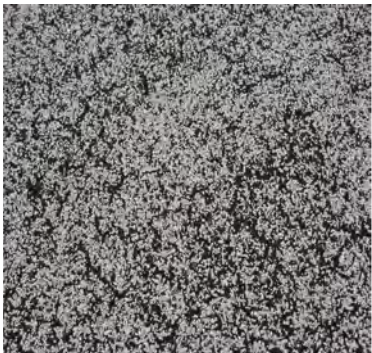
## Overall Core Condition

Wood fiberboard insulation is 1/2" thick. Polyisocyanurate insulation is 2-3/4" thick. All materials are dry at this location.

## Core Photos

Photos	Date	Description
	Feb 06, 2008	Core cut #1

## Membrane Defects - Outstanding

Photos	Type Of Defect	Severity	Details
	Base flsg: open top/lap/term.	Moderate	Several base flashing laps are open. Fishmouths are present at isolated locations.
	Drainage: poor stripping	Major	Stripping is open at the overflow scuppers.
	Membrane: eroded surfacing	Moderate	Surface ply is weathered and granules are eroded.



## Roof Top Details

Detail Type	Description	Flashing Membrane	Flashing Metal	Additional Details and Condition
Drain/Scupper	Internal drain	Mod bit - 1 ply	Lead	
Drain/Scupper	Overflow scupper	Mod bit - 1 ply	Aluminum	
Equipment	Exhaust vent	Mod bit - 1 ply	Not applicable	
Perimeter	Parapet wall	Mod bit - 1 ply	Prepainted metal	
Perimeter	Wall	Mod bit - 1 ply	Prepainted metal	
Projection	Soil stack	Mod bit - 1 ply	Lead	

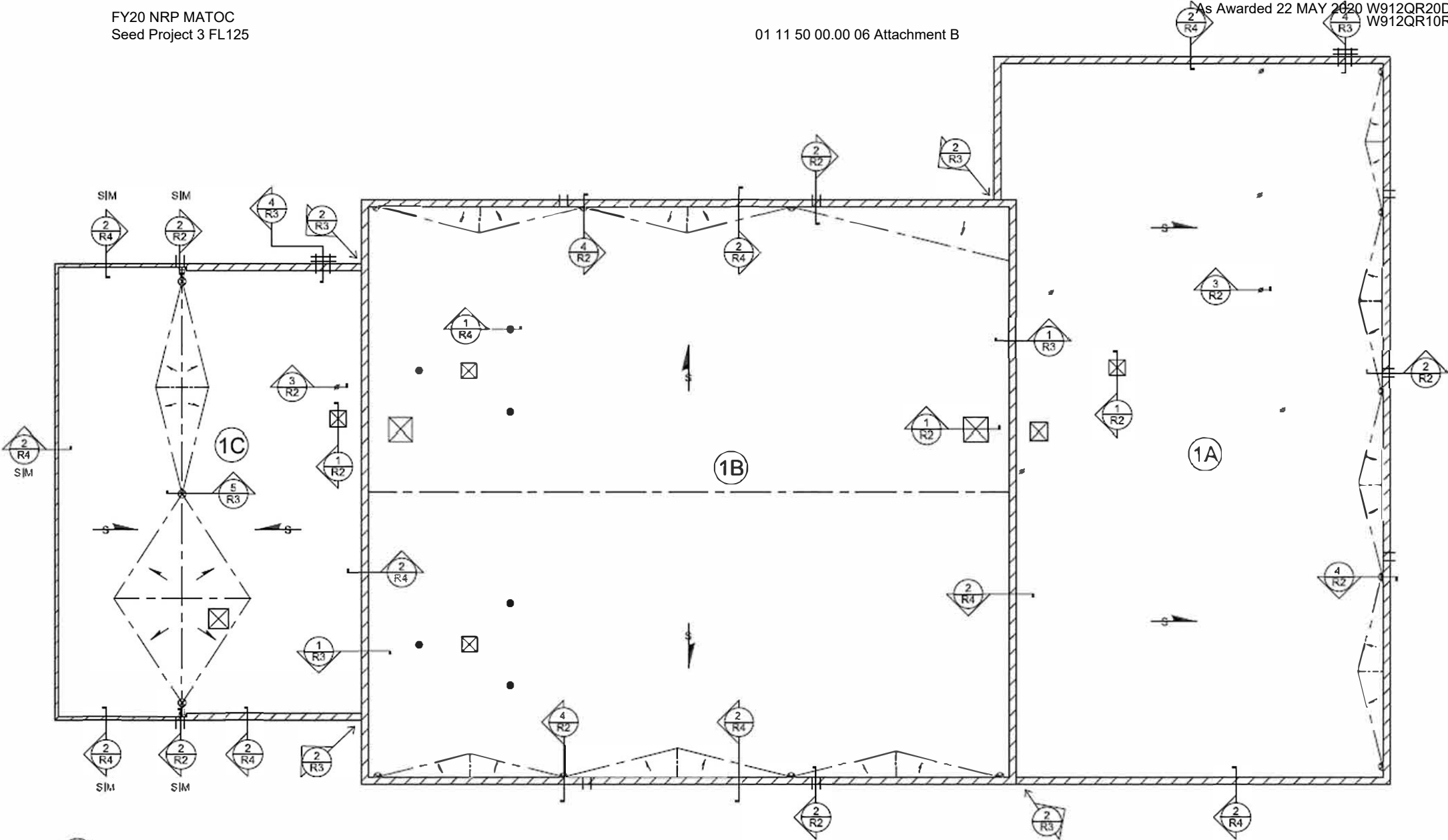
## Recommendations Details

Budget Year	Activity Type	Action Item ?	Allocation	Urgency	Quotation \$
2008	Repair	No	Capital	Moderate	
Repair defects noted. Monitor weathered surface ply.					
					\$400

End of the Roof Section

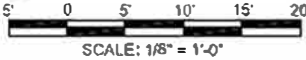
Office area Roof - 1C





ROOF SECTOR	SQUARE FOOTAGE
1A	4,328
1B	5,986
1C	2,217
TOTAL	12,531

KEY	
	ROOF EDGE
	RIDGE/VALLEY
	ROOF PARAPET
	OVERFLOW SCUPPER
	LADDER BRACE
	ROOF DRAIN
	SCUPPER DRAIN
	PIPE PENETRATION
	SOIL STACK
	CURB
	STRUCTURAL SLOPE
	INSULATION SLOPE



2 ROOF PLAN  
R1 1/8"=1'-0"



Attachment C: Site Location



# FL125 Site Location

3000 8th St  
Orlando FL

3000 8th St FL125

Orange

Lake Hart

Google Earth

© 2018  
Google

Amendment 0002

4



**FL12**

5000 8th  
Orlando  
FL

FL125

Google Earth

© 2018  
Google

70

N

N

National Roofing Program (NRP) FY20 MATOC  
Volume 2  
Corrected Final

Seed Project 4  
IL079  
20610 S Arsenal Rd, Elwood, IL  
Replace Low Slope Standing Seam Metal Roof with Low Slope Standing Seam Metal Roof



NRP FY20 MATOC SEED Project 4  
Elwood, IL IL079P2 472474  
January 2020

Amendment 0002

SECTION  
00 80 50.00 06

## SPECIAL PROVISIONS FOR TASK ORDERS

08/19

## PART 1 GENERAL

1.1 NOT USED

1.2 NOT USED

1.3 NOT USED

## 1.4 TIME EXTENSIONS FOR UNUSUALLY SEVERE WEATHER. ER 415-1-15

This provision specifies the procedure for the determination of time extensions for unusually severe weather in accordance with the "Default (Fixed-Price Construction)" as discussed in Section 00 70 00 of the base contract and Section 00 70 50 of this task order. In order for the Contracting Officer to award a time extension under this clause, the following conditions must be satisfied:

The weather experienced at the project site during the contract period must be found to be unusually severe, that is, more severe than the adverse weather anticipated for the project location during any given month.

The unusually severe weather must actually cause a delay to the completion of the project. The delay must be beyond the control and without the fault or negligence of the Contractor.

The following schedule of monthly anticipated adverse weather delays is based on National Oceanic and Atmospheric Administration (NOAA) or similar data for the project location and will constitute the base line for monthly weather time evaluations. The Contractor's progress schedule must reflect these anticipated adverse weather delays in weather dependent activities.

MONTHLY ANTICIPATED ADVERSE WEATHER DELAY  
WORK DAYS BASED ON (5) DAY WORK WEEK

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
IL079	22	21	22	21	18	6	4	4	6	18	19	20

Upon acknowledgment of the Notice to Proceed (NTP) and continuing throughout the contract, the Contractor will record on the daily CQC report, the occurrence of adverse weather and resultant impact to normally scheduled work. Actual adverse weather delay days must prevent work on critical activities for 50 percent or more of the Contractor's scheduled work day. The number of actual adverse weather delay days shall include days impacted by actual adverse weather (even if adverse weather occurred in previous month), be calculated chronologically from the first to the last day of each month, and be recorded as full days. If the number of actual adverse weather delay days exceeds the number of days anticipated listed above, the Contracting Officer will convert any qualifying delays to calendar days, giving full consideration for equivalent fair weather work

NRP FY20 MATOC SEED Project 4  
Elwood, IL IL079

P2 472474  
January 2020

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days, and issue a modification in accordance with the "Default (Fixed-Price Construction)" in section 00 70 00 of the base contract, Volume 1 .

#### 1.5 WAGE RATES

The decision of the Secretary of Labor, covering rates of wages, including fringe benefits to be paid laborers and mechanics performing work under this contract, is attached to this solicitation. The payment for all classes of laborers and mechanics actually employed to perform work under the contract will be specified in the following contract provisions: "Contract Work Hours and Safety Standards -- Overtime Compensation"; "Construction Wage Rate Requirements"; and, "Compliance with Copeland Act Requirements" in Section 00 70 00 of the base contract.

Wage decision included are: IL190026 Building

The work to be performed is located in the State of Illinois, Will County.

1.6 Not Used

1.7 Not Used

1.8 Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 NOT USED

1.14 NOT USED

1.15 NOT USED

1.16 NOT USED

1.17 NOT USED

1.18 NOT USED

1.19 NOT USED

1.20 NOT USED

1.21 NOT USED

1.22 NOT USED

1.23 NOT USED

1.24 NOT USED

NRP FY20 MATOC SEED Project 4  
Elwood, IL IL079

P2 472474  
January 2020

1.25 NOT USED

1.26 NOT USED

PART 2 PRODUCTS NOT USED

PART 3 EXECUTION NOT USED



TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 4																				
LOCATION: IL079 Elwood, IL																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC								CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY						
Line	Act-ivity #	Trans-mittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classi-fication: GA for GOVT or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Labor, Equipment and Material Reports	1.19	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Daily Equipment Report	1.19	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Scaffolding, Competent Person and Crew Qualifications and Training	1.21	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Scaffolding Erection Plan	1.21	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Fingerprints of all persons employed or to be employed	1.12	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Local Agency Check	1.12	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Training Report	1.3	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Construction Plan	3.3.1	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Contractor's Safety Program	3.4.5.3	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Demolition Plan	4.2	GA												
			01 32 01.00 06 Vol 1	SD-01	Preconstruction Submittal	Task Order Schedule	3.4	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Accident Prevention Plan	1.8	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Activity Hazard Analysis (AHA)	1.9	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Site Safety & Health Office Qualifications (SSHO)	1.6 & Vol 2	GA												
			01 45 04.10 06 Vol 1	SD-01	Preconstruction Submittal	Design Quality Control Plan	3.2	GA												
			01 45 04.10 06 Vol 1	SD-01	Preconstruction Submittal	Construction Quality Control Plan	3.3	GA												
			01 50 00 Vol 1	SD-01	Preconstruction Submittal	Construction Site Plan	1.4	GA												
			01 50 00 Vol 1 and 01 57 20.00 06 Vol 1	SD-02	Preconstruction Submittal	Dust Control Plan	3.4.4 and 4.2.11	GA												
			01 57 20.00 06 Vol 1	SD-01	Preconstruction Submittal	Environmental Protection Plan	1.7	GA												
			01 74 19 Vol 1	SD-01	Preconstruction Submittal	Waste Management Plan	1.6	GA												
			00 80 50.00 06 Vol 2	SD-01	Preconstruction Submittal	Storm Water Pollution Prevention Plan	1.7	GA												
			00 80 50.00 06 Vol 2	SD-02	Shop Drawings	Mechanical/Electrical Room Layout	1.9	GA												
			00 80 00.00 06 Vol 1	SD-04	Samples	Equipment Warranty Identification Tags	1.13(f)	GA												
			00 80 50.00 06 Vol 2	SD-05	Design Data	Soil Certification	1.24	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Equipment-in-Place List	1.9	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Maintenance and Parts Data	1.9	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Progress Photographs	1.20	GA												
			00 80 00.00 06 Vol 1	SD-07	Certificates	Warranties	1.13	GA												
			00 80 00.00 06 Vol 1	SD-07	Certificates	Insurance	1.4	GA												

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 4																				
LOCATION: IL079 Elwood, IL																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC									CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY					
Line	Act-ivity #	Trans-mittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classi-fication: GA for GOVT or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks
			00 80 00.00 06 Vol 1	SD-07	Certificates	Sales and Use Tax	1.1	GA												
			1 80 00.00 06 Vol 1	SD-08	Certificates	Certificates of Compliance	1.33	GA												
			00 80 50.00 06 Vol 2	SD-07	Certificates	No Asbestos - Containing Material (ACM) Certification	1.21	GA												
			00 80 50.00 06 Vol 2	SD-07	Certificates	Monthly AT Training Roster	4.1.8	GA												
			00 80 00.00 06 Vol 1	SD-11	Closeout Submittals	Preliminary (Working) As-Built Drawings	1.7.4	GA												
			00 80 00.00 06 Vol 1	SD-11	Closeout Submittals	Warranty Management Plan	1.13(b)	GA												
			00 80 50.00 06 Vol 2	SD-11	Closeout Submittals	Final As-Built Drawings	1.9	GA												
			01 74 19 Vol 1	SD-11	Closeout Submittals	Records, Waste Generated/Diverted	1.7	GA												
			1 80 00.00 06 Vol 1	SD-12	Closeout Submittals	Final Borrow Pit/Spoil Area Contour Map	1.7.3(h) or 1.8.4	GA												

FY20 NRP MATOC Seed Project 4  
IL079 Elwood, IL

P2 472474  
December 2019

Amendment 0002

SECTION  
01 11 50.00 06

Task Order SCOPE OF WORK

1.0 PROJECT INFORMATION

1.1 GENERAL

**Design/Build:** The Contractor shall provide all labor, equipment, supplies, and consultant services and all site investigations, surveys, analysis, sampling, testing and verification of existing field conditions as required for design and construction of the Roof Replacement Project at IL079 to result in a complete and useable Facility. Contractor shall provide complete design analysis incorporating all engineering computations, analysis, test and survey results, building code (including fire protection, life safety, environmental and accessibility) review as it pertains/affects/relates to this project, equipment and material data and documentation of existing conditions.

1.2 SCOPE OF WORK

Unless specifically noted otherwise in this Specification Section or in the base MATOC contract Volume 1 of 2 itself, all requirements of the base MATOC contract Volume 1 of 2 shall apply to this Task Order. The work includes design and construction to replace an Architectural Standing Seam Metal Roof at IL079.

**Design/Build:** Design and construction shall comply with the requirements contained in this Task Order Request for Proposal (RFP). The design and technical criteria contained and cited in this RFP and the Unified Facilities Guide Specifications (UFGS) establish minimum standards for design and construction quality. The Designers of Record shall use the Unified Facilities Guide Specifications (UFGS) and the requirements contained in this RFP to fully develop the technical specifications and construction drawings. The objective of this solicitation is to obtain an energy efficient, durable, maintainable and sustainable space.

**Design/Build:** The illustrations and exhibits included in this RFP illustrate the conceptual design of the project and are provided to define the scope of work and budget. The concepts provided shall be further developed by the Design/Build Contractor to comply with the customer's functional needs.

All demolition required to construct the project is included as part of the work of this Contract.

1.3 SITE LOCATION

This project is located at 20610 S Arsenal Rd, Elwood, IL..

1.4 EXISTING SITE UTILITIES

1.4.1 The contractor shall verify the location and capacity of all utilities serving the building. Upgrading the existing utilities, (unless noted otherwise) outside the limits of construction, is not a part of this project.

FY20 NRP MATOC Seed Project 4  
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## 1.5 BID OPTIONS

NOT USED

## 1.6 ATTACHMENTS

**Design/Build:** Information provided in the Attachments is intended to guide the completion of the design by establishing existing conditions, and the desired character, appearance, and function of the new construction. The following Attachments are included and shall be used and strictly adhered-to in completing the design and construction of the project.

- a. ATTACHMENT A: Photographs of Existing Conditions
- b. ATTACHMENT B: Existing Conditions
- c. ATTACHMENT C: Site Location

1.7 Not Used

1.8 Not Used

1.9 NOT USED

1.10 NOT USED

1.11 NOT USED

1.12 NOT USED

1.13 NOT USED

## 2.0 DESIGN REQUIREMENTS

### 2.1 GENERAL

The Contractor shall prepare complete construction documents for all work designed as required by the RFP. The construction documents to be prepared shall include, but are not limited to, construction drawings, specifications, submittals, and design analysis as required in Section 01 33 16.00 10 DESIGN DATA (DESIGN AFTER AWARD), Volume 1. Materials and equipment shall be limited to those specified except that where no specific material and equipment is specified or no basis of design is identified, the Contractor shall use materials and equipment accepted within the construction industry and in compliance with Design Criteria.

### 2.2 DESIGN

2.2.1 The Contractor shall prepare a 100% design for the project in accordance with the RFP using industry standard materials and efficient practices. The design of the materials selected shall be high quality, durable and easily maintained. The Contractor shall be responsible for the professional quality, code compliance, technical accuracy, and coordination of all designs, drawings, specifications, and other documents or publications upon which the design and construction are based. It shall be the



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responsibility of the Design/ Build Contractor to verify the accuracy of the documents provided.

#### 2.2.2 Design Milestone Schedule

Notice to Proceed (NTP)	Day 0
Charette Report (FIO no review)	NTP + 60 Days
Interim Submittal (FIO no review)	NTP + 90 Days
Draft Final	NTP + 120 days
Corrected Final/Issue for	
Construction Submittal	NTP + 150 days

#### 2.3 REQUEST FOR PROPOSAL (RFP) INTENT

The intent of this RFP section is to describe the requirements for appearance, function, materials, and types of construction in sufficient detail to enable engineering and design to be completed by the Contractor.

2.4 NOT USED

2.5 NOT USED

2.6 NOT USED

2.7 NOT USED

2.8 NOT USED

2.9 NOT USED

2.10 NOT USED

2.11 NOT USED

#### 2.12 GOVERNMENT FURNISHED MATERIALS

##### 2.12.1 GFM Handover

The GFM has been provided as part of the Solicitation package.

##### 2.12.2 GFM File Formats

GFM are provided only in PDF format.

#### 2.13 DESIGN SUBMITTAL DISTRIBUTION MATRIX

##### Submittal Reviewers & Mailing Addresses

U.S. Army Corps of Engineers  
Timothy M. McClellan, P.E., RRC  
Timothy.m.mcclellan@usace.army.mil  
LRL-ED-MA Room 872C  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

FY20 NRP MATOC Seed Project 4  
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Amendment 0002

U.S. Army Corps of Engineers  
Carl Lindsay II, CMIT  
[Carl.L.Lindsay@usace.army.mil](mailto:Carl.L.Lindsay@usace.army.mil)  
LRL-CD  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers  
Jeffrey E. Bayers, P.E., P.M.P.  
[Jeffrey.e.bayers@usace.army.mil](mailto:Jeffrey.e.bayers@usace.army.mil)  
LRL-PM-R  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

Albert F. Cherry  
USARC-ARIMD Engineering Branch  
Program Manager: BUILDER, NRP, & FRP  
Phone: 910-570-8961  
Email: [albert.f.cherry.civ@mail.mil](mailto:albert.f.cherry.civ@mail.mil)

### 3.0 GENERAL CONSTRUCTION REQUIREMENTS

#### 3.1 SUMMARY

##### 3.1.1 The requirements include:

- a. Construction considerations and use of the premises.
- b. Protection of personnel and Government property.
- c. Construction facilities and job site standards.
- d. The requirements of this section apply to the entire project including all amendments or modifications that may be issued to modify the contract documents.

#### 3.2 GENERAL INFORMATION

3.2.1 NOT USED

3.2.2 NOT USED

3.2.3 Coordinate all construction activities with:

- a. Contracting Officer's Representative
- b. Building Occupants

3.2.4 Not Used

3.2.5 Not Used.

3.2.6 Not Used

3.2.7 Not Used

3.2.8 Not Used.

3.2.9 Project and Safety Signs. See 01 50 00, Paragraph 2.1.2.

3.3 NOT USED

FY20 NRP MATOC Seed Project 4  
IL079 Elwood, IL

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3.4 Not Used

3.5 Not Used

3.6 Not Used

4.0 Not Used

5.0 Not Used

6.0 Not Used

7.0 ARCHITECTURAL

Rise walls between sections A and C and between Section A and B, as shown on the Full Facility Report in Attachment B, to receive metal cladding over the existing masonry. Metal cladding to match material of the Standing Seam Metal Roof.

8.0 Not Used

9.0 Not Used

10.0 NOT USED

11.0 NOT USED

12.0 NOT USED

13.0 Not Used

14. Roof System

Contractor to replace existing Standing Seam Metal roof with new Standing Seam metal roof. As the system is a low slope roof the contractor will be required to utilize ice and water shield over the entire roof.

--End of Section --

FY20 NRP MATOC  
SEED PROJECT 4 IL079

01 11 50 00.00 06 Attachment A

Corrected Final  
January 2020

Attachment A: Photos of Existing Conditions

Photographs are provided as typical conditions and may not be all encompassing.

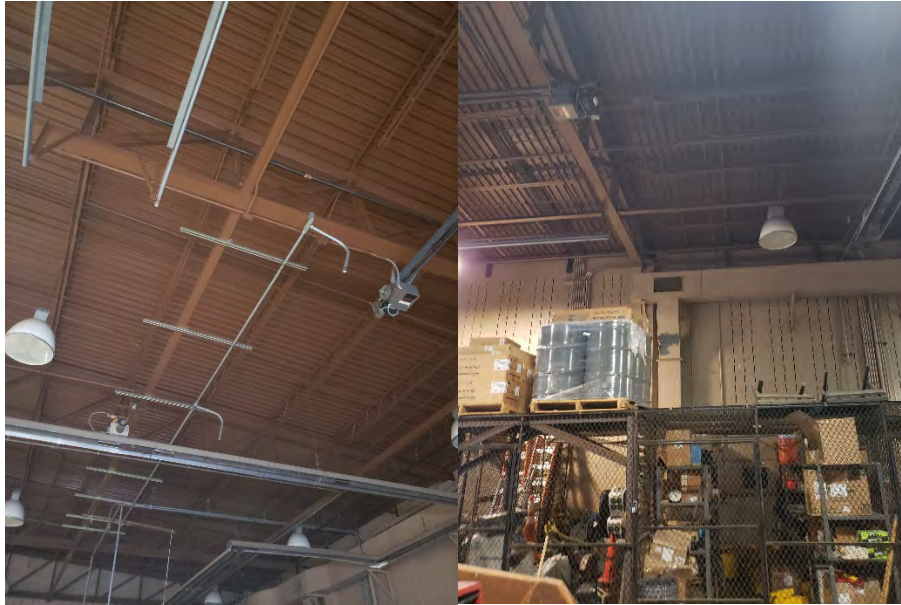


FY20 NRP MATOC  
SEED PROJECT 4 IL079

01 11 50 00.00 06 Attachment A

Corrected Final  
January 2020

Amendment 0002



Typical Roof Deck in OMS Bay  
Note Deck Mounted Utilities



Typical Roof Deck Above Drop Ceiling in Administration Space

FY20 NRP MATOC  
SEED PROJECT 4 IL079

01 11 50 00.00 06 Attachment A

Corrected Final  
January 2020

Amendment 0002



Roof Penetration Section B



Typical Roof Section A Penetrations



FY20 NRP MATOC  
SEED PROJECT 4 IL079

01 11 50 00.00 06 Attachment A

Corrected Final  
January 2020

Amendment 0002



Roof and Wall Penetrations Section A



Typical Roof Section A Penetrations

FY20 NRP MATOC  
SEED PROJECT 4 IL079

01 11 50 00.00 06 Attachment A

Corrected Final  
January 2020

Amendment 0002



Roof Section A Typical Roof to Rise Wall Transition



Typical Rise Wall.



FY20 NRP MATOC  
SEED PROJECT 4 IL079

01 11 50 00.00 06 Attachment A

Corrected Final  
January 2020

Amendment 0002



Typical Gutters and Downspouts

## Attachment B: Existing Conditions

Existing conditions reports are include to provide information to the contract in preparing the bid in response to the solicitation. Recommendations and proposed solutions in these reports do not apply to the project.

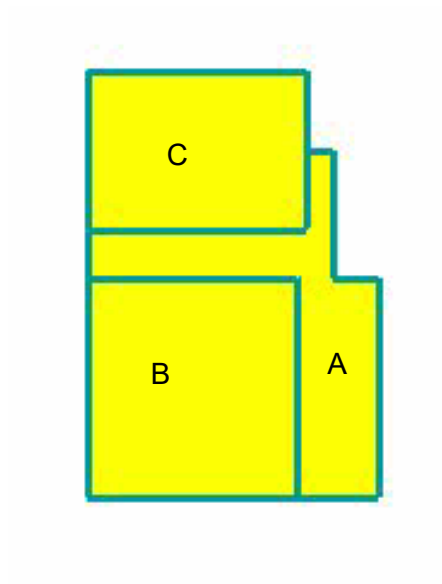
# Full Facility Roof Report

## Prepared for:

Diann Shim  
IL079-JT001 OMS (MB)  
20610 S ARSENAL RD  
Elwood, IL  
60421





IL079-JT001 OMS (MB)



Date : September 28, 2015

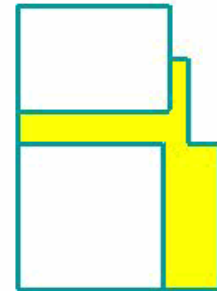
## Roof Section List

Photo	Section / Name / Year Installed	Size / Height	Roof Type	Condition Index/ *RCI/ ASLR(Yrs)	Estimated Replacement Value
	IL079-JT001 OMS (MB) A A 1990	4,624 sq. ft. 13 ft.	Standing Seam Sheet Metal Roofing	Good 64 5(Yrs)	
	IL079-JT001 OMS (MB) B B 1990	4,624 sq. ft. 13 ft.	Standing Seam Sheet Metal Roofing	Good 64 5(Yrs)	
	IL079-JT001 OMS (MB) C C 1990	5,270 sq. ft. 13 ft.	Standing Seam Sheet Metal Roofing	Good 64 5(Yrs)	
<b>14,518</b>					<b>\$435,540.00</b>
*RCI Rating 0 -100 where 100 is excellent					



**Roof Name:** A**Roof Size:** 4,624 sq. ft.**Est. replacement Cost:****Existing System Type:** Standing Seam Sheet Metal Roofing**Year Installed:** 1990**Assessed Service Life  
Remaining (Years) :** 5**Height:** 13 Ft.**Slope:** 1" per ft.**Interior Sensitivity:** Normal**Drainage:** Adequate**Currently Leaking?** Yes**History of Leaking?** Yes

**Drainage and Leak Details:** This roof is positively drained. A sloped watershedding roof surface can tolerate minor imperfections in both design and construction and still perform it""s primary waterproofing function. The roof is currently leaking and has a known history of leaking.



### Work History Details


Date	Activity type	Contractor / Inspector	Allocation	Actual Cost
Sep 01, 2015	Visual Inspection		Capital	\$0


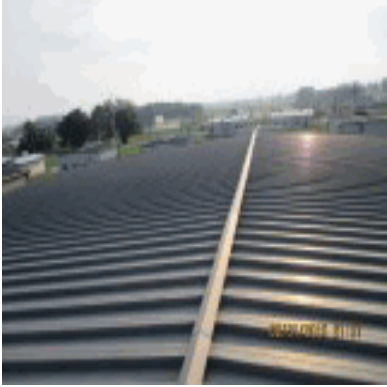
### Work History Summary

Date	Type Of Activity	Contractor/Inspector	Allocation	Actual Cost
Sep 01, 2015	Visual Inspection		Capital	

Existing Roof System Construction		
Layer Type	Description	Method Of Attachment
Metal Panels	Standing seam metal roofing	Panel Clips

Overall Core Condition
No core was taken. No as-built drawings were available at the time of this inspection.

Core Photos		
Photos	Date	Description
	Sep 01, 2015	Exterior Roof System View

RoofTop Details					
Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Gutters & Downspc	Gutters	151		Not applicable	Not applicable
Gutters are generally in good condition.					
					
Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Ridge	Ridge Cap	18		Not applicable	24 gauge prepaini
Ridge cap is generally in good condition.					
					

**RoofTop Details Continued...**

Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Perimeter	Rake	115		Not applicable	24 gauge prepaini

Rake is generally in good condition. Panels are not flashed properly causing leaks.





Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Equipment	Bell exhaust	3		Not applicable	24 gauge prepaini

Three (3) bell exhaust fans are generally in good condition.





RoofTop Details Continued...					
Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Perimeter	Risewall	179		Not applicable	24 gauge prepaini
Risewall is generally in good condition.					
					
Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Penetration	Soil Vent Pipe	2		Not applicable	24 gauge prepaini
Two (2) soil vent pipes are generally in good condition.					
					

Overall Roof Inspection Assessments			
Date	Inspection Type		Inspector
Sep 01, 2015	Visual Inspection		

**End of the Roof Section**

A Roof - IL079-JT001 OMS (MB) A

Roof Name: B

**Roof Size:** 4,624 sq. ft.

**Est. replacement Cost:**

**Existing System Type:** Standing Seam Sheet Metal Roofing

**Year Installed:** 1990

**Assessed Service Life Remaining (Years) :** 5

**Height:** 13 Ft.

**Slope:** 1" per ft.

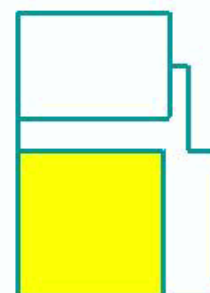
**Interior Sensitivity:** Normal

**Drainage:** Adequate

**Currently Leaking?** Yes

**History of Leaking?** Yes

<b>Drainage and Leak Details:</b>	<p>This roof is positively drained. A sloped watershedding roof surface can tolerate minor imperfections in both design and construction and still perform it""s primary waterproofing function. The roof is currently leaking and has a known history of leaking.</p>
-----------------------------------	--



## Work History Details

Date	Activity type		Allocation	Actual Cost
Sep 01, 2015	Visual Inspection		Capital	

## Work History Summary

Date	Type Of Activity		Allocation	Actual Cost
Sep 01, 2015	Visual Inspection		Capital	

## Core Photos

September 28, 2015



**RoofTop Details**

Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Gutters & Downspc	Gutters	162		Not applicable	Not applicable

Gutters are generally in good condition.



Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Ridge	Ridge Cap	81		Not applicable	24 gauge prepaini

Ridge cap is generally in good condition.

Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Perimeter	Rake	168		Not applicable	24 gauge prepaini

Rake is generally in good condition. Panels are not flashed properly causing leaks.



**End of the Roof Section**  
**B Roof - IL079-JT001 OMS (MB) B**

Roof Name: C

**Roof Size:** 5,270 sq. ft.

**Est. replacement Cost:**

**Existing System Type:** Standing Seam Sheet Metal Roofing

**Year Installed:** 1990

**Assessed Service Life Remaining (Years) :** 5

**Height:** 13 Ft.

**Slope:** 1" per ft.

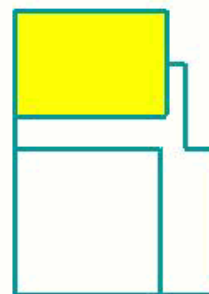
**Interior Sensitivity:** Normal

**Drainage:** Adequate

**Currently Leaking?** Yes

**History of Leaking?** Yes

<b>Drainage and Leak Details:</b>	<p>This roof is positively drained. A sloped watershedding roof surface can tolerate minor imperfections in both design and construction and still perform it's primary waterproofing function. The roof is currently leaking and has a known history of leaking.</p>
-----------------------------------	---



## Work History Details


Date	Activity type		Allocation	Actual Cost
Sep 01, 2015	Visual Inspection		Capital	

## Work History Summary

Date	Type Of Activity		Allocation	Actual Cost
Sep 01, 2015	Visual Inspection		Capital	

Existing Roof System Construction		
Layer Type	Description	Method Of Attachment
Metal Panels	Standing seam metal roofing	Panel Clips

Overall Core Condition
No core was taken. No as-built drawings were available at the time of this inspection.

Core Photos		
Photos	Date	Description
	Sep 01, 2015	Exterior Roof System View



**RoofTop Details**

Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Gutters & Downspc	Gutters	170		Not applicable	Not applicable

Gutters are generally in good condition.



Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Ridge	Ridge Cap	85		Not applicable	24 gauge prepaini

Ridge cap is generally in good condition.



## RoofTop Details Continued...

Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Perimeter	Rake	126		Not applicable	24 gauge prepaini

Rake is generally in good condition. Panels are not flashed properly causing leaks.



Detail Type	Detail Description	Quantity	Unit	Flashing Membrane	Flashing Metal
Perimeter	Risewall	165		Not applicable	24 gauge prepaini

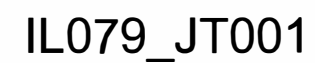
Risewall is generally in good condition.



## Overall Roof Inspection Assessments

Date	Inspection Type		
Sep 01, 2015	Visual Inspection		

**End of the Roof Section**  
**C Roof - IL079-JT001 OMS (MB) C**

1. N/A.

A-101





# IL079 Elwood, IL Bldg. 001 June 4<sup>th</sup>, 2014 Building assessment by John Gibson & Bud Lewis

IL079 is located at the US. Army Joliet Training Center, Elwood, IL  
Bldg. 1 is the Maintenance facility and there is no active Administration building on the site.  
There are Quonset huts to be torn down, a latrine/shower point and several classroom metal bldgs.



**ARMY STRONG.**







## Amendment 0002





## IL079 Elwood, IL

Easy to see block/brick moisture  
and the efflorescence of the masonry.



ARMY STRONG.

Amendment 0002







## IL079 Elwood, IL

Moisture damage is being done to the inside block walls.



ARMY STRONG.

Amendment 0002







IL079 Elwood, IL  
The freeze/thaw cycles are damaging  
mortar joints.

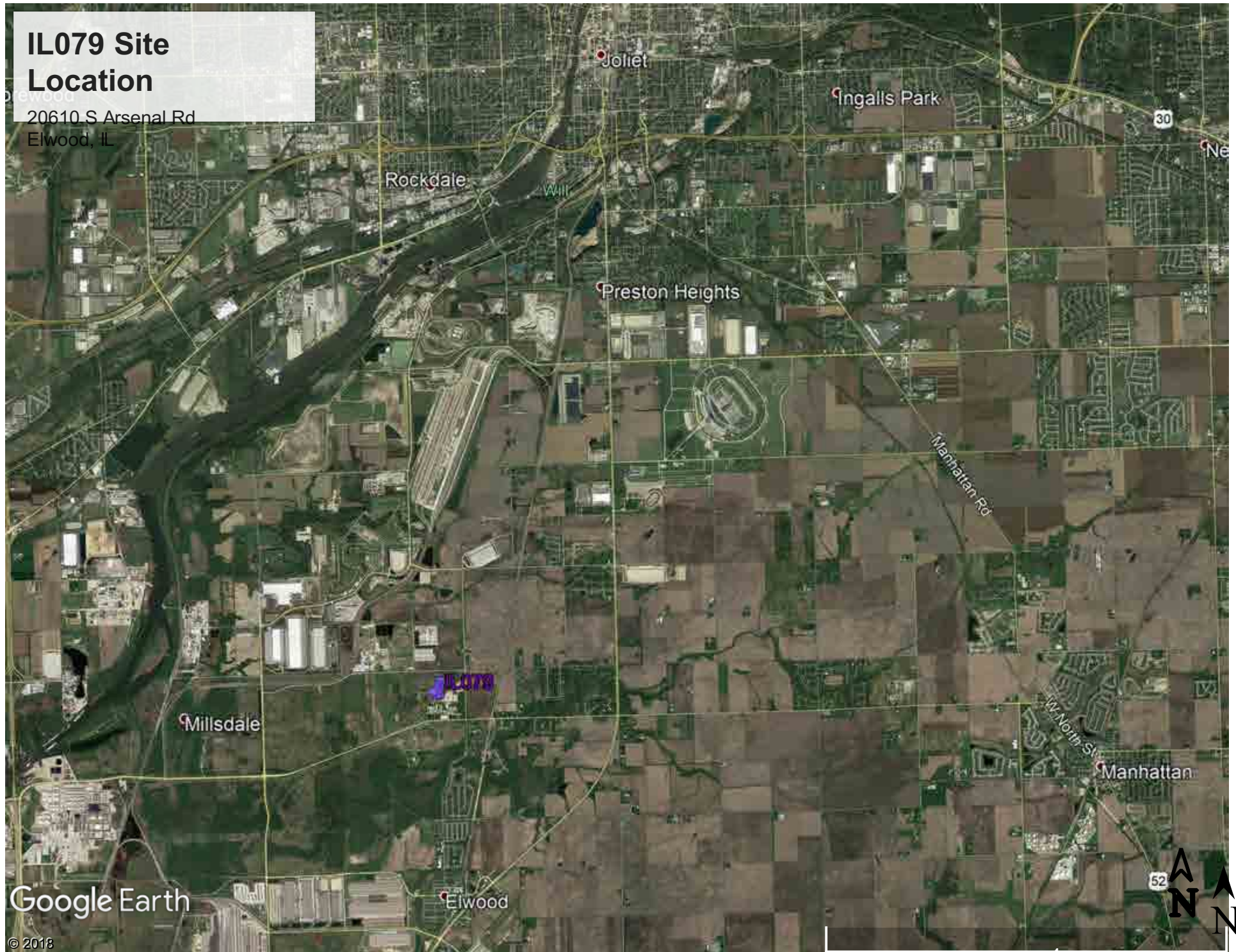


Attachment C: Site Location



## IL079 Site Location

20610 S Arsenal Rd  
Elwood, IL



Google Earth

© 2018  
Google



# IL079 Site Plan

20610 S Arsenal Rd  
Elwood, IL

IL079

Manhattan Rd

17

W Manhattan Rd

Google Earth

© 2018  
Google

800



National Roofing Program (NRP) FY20 MATOC  
Volume 2  
Corrected Final

Seed Project 5  
WV026  
900 Maryland Ave, Martinsburg, WV  
Replace Sprayed Polyurethane Coated Mod Bit Roof with EPDM Roof

FY20 NRP MATOC Seed Project 5  
Martinsburg, West Virginia WV026472474  
January 2020

Amendment 0002

SECTION  
00 80 50.00 06

## SPECIAL PROVISIONS FOR TASK ORDERS

08/19

## PART 1 GENERAL

1.1 NOT USED

1.2 NOT USED

1.3 NOT USED

## 1.4 TIME EXTENSIONS FOR UNUSUALLY SEVERE WEATHER. ER 415-1-15

This provision specifies the procedure for the determination of time extensions for unusually severe weather in accordance with the "Default (Fixed-Price Construction)" as discussed in Section 00 70 00 of the base contract and Section 00 70 50 of this task order. In order for the Contracting Officer to award a time extension under this clause, the following conditions must be satisfied:

The weather experienced at the project site during the contract period must be found to be unusually severe, that is, more severe than the adverse weather anticipated for the project location during any given month.

The unusually severe weather must actually cause a delay to the completion of the project. The delay must be beyond the control and without the fault or negligence of the Contractor.

The following schedule of monthly anticipated adverse weather delays is based on National Oceanic and Atmospheric Administration (NOAA) or similar data for the project location and will constitute the base line for monthly weather time evaluations. The Contractor's progress schedule must reflect these anticipated adverse weather delays in weather dependent activities.

MONTHLY ANTICIPATED ADVERSE WEATHER DELAY  
WORK DAYS BASED ON (5) DAY WORK WEEK

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
WV026	22	21	22	21	19	7	6	4	4	16	19	20

Upon acknowledgment of the Notice to Proceed (NTP) and continuing throughout the contract, the Contractor will record on the daily CQC report, the occurrence of adverse weather and resultant impact to normally scheduled work. Actual adverse weather delay days must prevent work on critical activities for 50 percent or more of the Contractor's scheduled work day. The number of actual adverse weather delay days shall include days impacted by actual adverse weather (even if adverse weather occurred in previous month), be calculated chronologically from the first to the last day of each month, and be recorded as full days. If the number of actual adverse weather delay days exceeds the number of days anticipated listed above, the Contracting Officer will convert any qualifying delays to calendar days, giving full consideration for equivalent fair weather work

FY20 NRP MATOC Seed Project 5  
Martinsburg, West Virginia WV026

472474  
January 2020

days, and issue a modification in accordance with the "Default (Fixed-Price Construction)" in section 00 70 00 of the base contract, Volume 1 .

#### 1.5 WAGE RATES

The decision of the Secretary of Labor, covering rates of wages, including fringe benefits to be paid laborers and mechanics performing work under this contract, is attached to this solicitation. The payment for all classes of laborers and mechanics actually employed to perform work under the contract will be specified in the following contract provisions: "Contract Work Hours and Safety Standards -- Overtime Compensation"; "Construction Wage Rate Requirements"; and, "Compliance with Copeland Act Requirements" in Section 00 70 00 of the base contract.

Wage decision included is WV20190034 Building

The work to be performed is located in the State of West Virginia, Berkley County

1.6 Not Used

1.7 Not Used

1.8 Not Used

1.9 Not Used

1.10 Not Used

1.11 Not Used

1.12 Not Used

1.13 Not Used

1.14 Not Used

1.15 Not Used

1.16 Not Used

1.17 Not Used

1.18 Not Used

1.19 Not Used

1.20 Not Used

1.21 Not Used

1.22 Not Used

1.23 Not Used

1.24 Not Used



FY20 NRP MATOC Seed Project 5  
Martinsburg, West Virginia WV026

472474  
January 2020

1.25 Not Used

1.26 Not Used

PART 2 PRODUCTS NOT USED

PART 3 EXECUTION NOT USED

Amendment 0002

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 5																				
LOCATION: WV026 Martinsburg, WV																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC									CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY					
Line	Act-ivity #	Trans-mittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classi-fication: GA for GOV'T or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Labor, Equipment and Material Reports	1.19	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Daily Equipment Report	1.19	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Scaffolding, Competent Person and Crew Qualifications and Training	1.21	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Scaffolding Erection Plan	1.21	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Fingerprints of all persons employed or to be employed	1.12	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Local Agency Check	1.12	GA												
			00 80 00.00 06 Vol 1	SD-01	Preconstruction Submittal	Training Report	1.3	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Construction Plan	3.3.1	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Contractor's Safety Program	3.4.5.3	GA												
			01 20 00.00 06 Vol 2	SD-01	Preconstruction Submittal	Demolition Plan	4.2	GA												
			01 32 01.00 06 Vol 1	SD-01	Preconstruction Submittal	Task Order Schedule	3.4	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Accident Prevention Plan	1.8	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Activity Hazard Analysis (AHA)	1.9	GA												
			01 35 26.00 06 Vol 1	SD-01	Preconstruction Submittal	Site Safety & Health Office Qualifications (SSHO)	1.6 & Vol 2	GA												
			01 45 04.10 06 Vol 1	SD-01	Preconstruction Submittal	Design Quality Control Plan	3.2	GA												
			01 45 04.10 06 Vol 1	SD-01	Preconstruction Submittal	Construction Quality Control Plan	3.3	GA												
			01 50 00 Vol 1	SD-01	Preconstruction Submittal	Construction Site Plan	1.4	GA												
			01 50 00 Vol 1 and 01 57 20.00 06 Vol 1	SD-02	Preconstruction Submittal	Dust Control Plan	3.4.4 and 4.2.11	GA												
			01 57 20.00 06 Vol 1	SD-01	Preconstruction Submittal	Environmental Protection Plan	1.7	GA												
			01 74 19 Vol 1	SD-01	Preconstruction Submittal	Waste Management Plan	1.6	GA												
			00 80 50.00 06 Vol 2	SD-01	Preconstruction Submittal	Storm Water Pollution Prevention Plan	1.7	GA												
			00 80 50.00 06 Vol 2	SD-02	Shop Drawings	Mechanical/Electrical Room Layout	1.9	GA												
			00 80 00.00 06 Vol 1	SD-04	Samples	Equipment Warranty Identification Tags	1.13(f)	GA												
			00 80 50.00 06 Vol 2	SD-05	Design Data	Soil Certification	1.24	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Equipment-in-Place List	1.9	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Maintenance and Parts Data	1.9	GA												
			00 80 00.00 06 Vol 1	SD-05	Design Data	Progress Photographs	1.20	GA												
			00 80 00.00 06 Vol 1	SD-07	Certificates	Warranties	1.13	GA												
			00 80 00.00 06 Vol 1	SD-07	Certificates	Insurance	1.4	GA												

TITLE: NRP FY20 MATOC										SUBMITTAL REGISTER										
JOB NAME: Seed Project 5																				
LOCATION: WV026 Martinsburg, WV																				
CONTRACT NO:																				
CONTRACTOR:																				
SB MATOC									CONTRACTOR SCHEDULE DATES			CONTRACTOR ACTION			APPROVING AUTHORITY					
Line	Act-ivity #	Trans-mittal #	Specification Section	SD #	SD Description	Item Submitted	Paragraph #	Classi-fication: GA for GOVT or A/E Revwr	Submit	Approval Needed By	Material Needed By	Action Code	Date Of Action	Date FWD to APPR / Auth - Date RCD From CONTR	Date FWD To Other Revwr	Date RCD From Other Revwr	Action Code	Date Of Action	Mailed To CONTR/ Date RCD From APPR Authority	Remarks
			00 80 00.00 06 Vol 1	SD-07	Certificates	Sales and Use Tax	1.1	GA												
			1 80 00.00 06 Vol 1	SD-08	Certificates	Certificates of Compliance	1.33	GA												
			00 80 50.00 06 Vol 2	SD-07	Certificates	No Asbestos - Containing Material (ACM) Certification	1.21	GA												
			00 80 50.00 06 Vol 2	SD-07	Certificates	Monthly AT Training Roster	4.1.8	GA												
			00 80 00.00 06 Vol 1	SD-11	Closeout Submittals	Preliminary (Working) As-Built Drawings	1.7.4	GA												
			00 80 00.00 06 Vol 1	SD-11	Closeout Submittals	Warranty Management Plan	1.13(b)	GA												
			00 80 50.00 06 Vol 2	SD-11	Closeout Submittals	Final As-Built Drawings	1.9	GA												
			01 74 19 Vol 1	SD-11	Closeout Submittals	Records, Waste Generated/Diverted	1.7	GA												
			1 80 00.00 06 Vol 1	SD-12	Closeout Submittals	Final Borrow Pit/Spoil Area Contour Map	1.7.3(h) or 1.8.4	GA												

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Martinsburg, West Virginia WV026

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January 2020

Amendment 0002

SECTION  
01 11 50.00 06

Task Order SCOPE OF WORK

1.0 PROJECT INFORMATION

1.1 GENERAL

**Design/Build:** The Contractor shall provide all labor, equipment, supplies, and consultant services and all site investigations, surveys, analysis, sampling, testing and verification of existing field conditions as required for design and construction of the Roof Replacement Project at WV026 to result in a complete and useable Facility. Contractor shall provide complete design analysis incorporating all engineering computations, analysis, test and survey results, building code (including fire protection, life safety, environmental and accessibility) review as it pertains/affects/relates to this project, equipment and material data and documentation of existing conditions.

1.2 SCOPE OF WORK

Unless specifically noted otherwise in this Specification Section or in the base MATOC contract Volume 1 of 2 itself, all requirements of the base MATOC contract Volume 1 of 2 shall apply to this Task Order. The work includes design and construction to replace the existing roof system with an EPDM System for the Training and OMS Buildings at WV026.

**Design/Build:** Design and construction shall comply with the requirements contained in this Task Order Request for Proposal (RFP). The design and technical criteria contained and cited in this RFP and the Unified Facilities Guide Specifications (UFGS) establish minimum standards for design and construction quality. The Designers of Record shall use the Unified Facilities Guide Specifications (UFGS) and the requirements contained in this RFP to fully develop the technical specifications and construction drawings. The objective of this solicitation is to obtain an energy efficient, durable, maintainable and sustainable space.

**Design/Build:** The illustrations and exhibits included in this RFP illustrate the conceptual design of the project and are provided to define the scope of work and budget. The concepts provided shall be further developed by the Design/Build Contractor to comply with the customer's functional needs.

All demolition required to construct the project is included as part of the work of this Contract.

1.3 SITE LOCATION

This project is located at 900 Maryland Ave., Martinsburg, WV.

1.4 EXISTING SITE UTILITIES

1.4.1 The contractor shall verify the location and capacity of all utilities serving the building. Upgrading the existing utilities, (unless noted otherwise) outside the limits of construction, is not a part of this project.



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## 1.5 BID OPTIONS

NOT USED

## 1.6 ATTACHMENTS

**Design/Build:** Information provided in the Attachments is intended to guide the completion of the design by establishing existing conditions, and the desired character, appearance, and function of the new construction. The following Attachments are included and shall be used and strictly adhered-to in completing the design and construction of the project.

- a. ATTACHMENT A:       Photos of Existing Conditions
- b. ATTACHMENT B:       Existing Conditions
- c. ATTACHMENT C:       Site Location

1.7       Not Used

1.8       Not Used

1.9 Not Used

1.10 Not Used

1.11 Not Used

1.12 Not Used

1.13 Not Used

## 2.0 DESIGN REQUIREMENTS

### 2.1 GENERAL

The Contractor shall prepare complete construction documents for all work designed as required by the RFP. The construction documents to be prepared shall include, but are not limited to, construction drawings, specifications, submittals, and design analysis as required in Section 01 33 16.00 10 DESIGN DATA (DESIGN AFTER AWARD), Volume 1. Materials and equipment shall be limited to those specified except that where no specific material and equipment is specified or no basis of design is identified, the Contractor shall use materials and equipment accepted within the construction industry and in compliance with Design Criteria.

### 2.2 DESIGN

2.2.1 The Contractor shall prepare a 100% design for the project in accordance with the RFP using industry standard materials and efficient practices. The design of the materials selected shall be high quality, durable and easily maintained. The Contractor shall be responsible for the professional quality, code compliance, technical accuracy, and coordination of all designs, drawings, specifications, and other documents or publications upon which the design and construction are based. It shall be the responsibility of the Design/ Build Contractor to verify the accuracy of the documents provided.

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### 2.2.2 Design Milestone Schedule

Notice to Proceed (NTP)	Day 0
Charette Report (FIO no review)	NTP + 30 Days
Interim Submittal (FIO no review)	NTP + 60 Days
Draft Final	NTP + 120 days
Corrected Final/Issue for	
Construction Submittal	NTP + 150 days

### 2.3 REQUEST FOR PROPOSAL (RFP) INTENT

The intent of this RFP section is to describe the requirements for appearance, function, materials, and types of construction in sufficient detail to enable engineering and design to be completed by the Contractor.

2.4 Not Used

2.5 Not Used

2.6 Not Used

2.7 Not Used

2.8 Not Used

2.9 Not Used

2.10 Not Used

2.11 Not Used

### 2.12 GOVERNMENT FURNISHED MATERIALS

#### 2.12.1 GFM Handover

The GFM has been provided as part of the Solicitation package.

#### 2.12.2 GFM File Formats

GFM are provided only in PDF format.

### 2.13 DESIGN SUBMITTAL DISTRIBUTION MATRIX

#### Submittal Reviewers & Mailing Addresses

U.S. Army Corps of Engineers  
Timothy M. McClellan, P.E., RRC  
Timothy.m.mcclellan@usace.army.mil  
LRL-ED-MA Room 872C  
600 Doctor Martin Luther King Junior Place  
Louisville, KY 40202

U.S. Army Corps of Engineers  
John Hearn

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Albert F. Cherry  
USARC-ARIMD Engineering Branch  
Program Manager: BUILDER, NRP, & FRP  
Phone: 910-570-8961  
Email: [albert.f.cherry.civ@mail.mil](mailto:albert.f.cherry.civ@mail.mil)

### 3.0 GENERAL CONSTRUCTION REQUIREMENTS

#### 3.1 SUMMARY

##### 3.1.1 The requirements include:

- a. Construction considerations and use of the premises.
- b. Protection of personnel and Government property.
- c. Construction facilities and job site standards.
- d. The requirements of this section apply to the entire project including all amendments or modifications that may be issued to modify the contract documents.

#### 3.2 GENERAL INFORMATION

3.2.1 Not Used

3.2.2 Not Used

3.2.3 Coordinate all construction activities with:

- a. Contracting Officer's Representative
- b. Building Occupants

3.2.4 Not Used

3.2.5 Not Used.

3.2.6 Not Used

3.2.7 Not Used

3.2.8 Not Used.

3.2.9 Project and Safety Signs. See 01 50 00, Paragraph 2.1.2.

3.3 Not Used

3.4 Not Used

3.5 Not Used

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### 3.6 Not Used

### 4.0 DEMOLITION

Part of the existing roofing system is a coated foam spray on system. The coating and foam was over-sprayed onto adjacent building components. Contractor shall ensure removal of all overspray as part of this roof replacement project.

5.0 Not Used

6.0 Not Used

### 7.0 ARCHITECTURAL

Existing chimney and brick wall between roofing sections will be covered with a metal panel system. Metal panel finish will match flashing trimwork in color and material. Contractor to pressure wash all brick façade on all buildings.

8.0 Not Used

9.0 Not Used

10.0 Not Used

11.0 Not Used

### 12.0 HEATING VENTILATING, AND AIR CONDITIONING REQUIRMENTS

HVAC split units sitting on roof shall be mounted to skids appropriate to roofing system, a minimum of eight inches above roof surface. Contractor to locate OMS oil/water separator and note on drawings.

13.0 Not Used

### 14. Roof System

14.1 All roof sections to receive fully adhered EPDM roofing system.

--End of Section --



## Attachment A: Photos of Existing Conditions

Photographs are provided as typical conditions and may not be all encompassing.



Typical Core

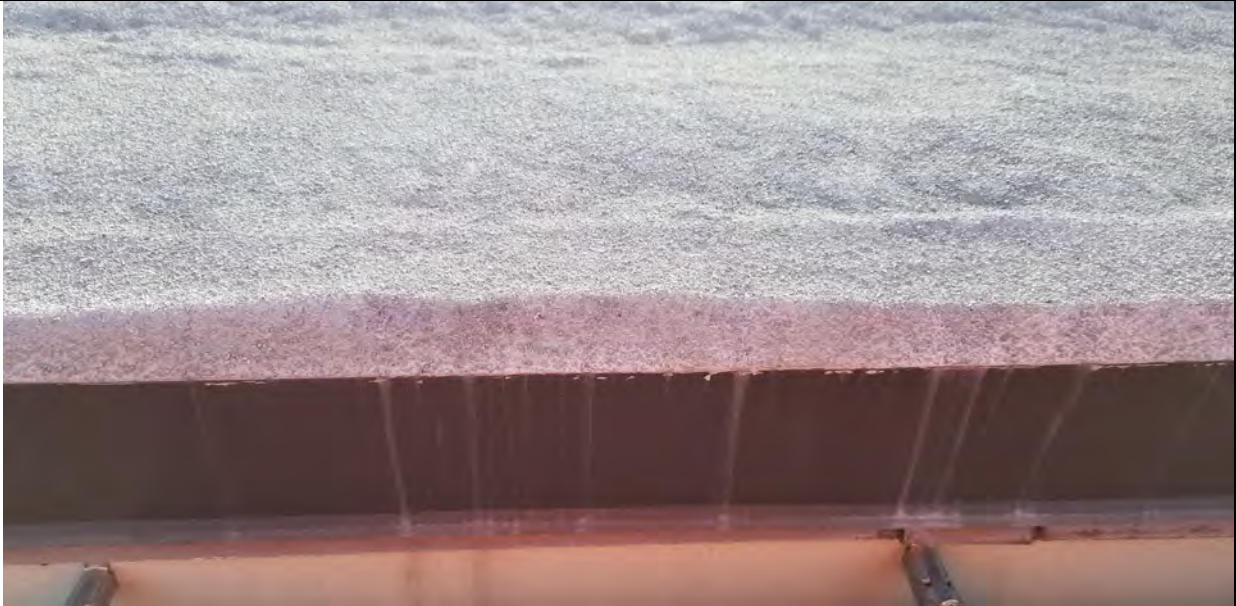


Section 1A Typical Penetration





Typical Gutter Wall Section Between 1A and 1B



Rake Edge 1A



Section 1A interface with wall



Overview 1A





Overview 1C



Typical Roof Deck and Structure



Typical conduit mounted directly to deck.



## OVERVIEW PHOTOGRAPHS



USARC (MB)-01, North Elevation



USARC (MB)-01, West Elevation



USARC (MB)-01



USARC (MB)-01, curbs and penetration



USARC (MB)-01, curbs and penetration



USARC (MB)-01, multi-penetration



USARC (MB)-02, West Elevation



USARC (MB)-02, South Elevation



USARC (MB)-03



USARC (MB)-01 and 03, East Elevation



USARC (MB)-3



USARC (MB)-03, curbs and penetrations





USARC (MB)-02 and 03, rake and expansion joint



USARC (MB)-03, expansion joint



USARC (MB)-04, South Elevation



USARC (MB)-04



OMS (MB)-01, North Elevation



OMS (MB)-01, SE Elevation



OMS (MB)-01, South Elevation



OMS (MB)-01



OMS (MB)-01, curb



OMS (MB)-01, stack flashing



OMS (MB)-01,

## Attachment B: Existing Conditions

### USARC (MB)-01:

- a. Roofing generally consists of 1-4 inches sprayed polyurethane foam over a gravel surfaced built up roof over  $\frac{3}{4}$  inch mineral board over 2  $\frac{1}{2}$  inches polyisocynaurate over  $\frac{3}{4}$  in perlite over a steel deck.
- b. Eave height is approximately 13 feet.
- c. Roof slope is approximately 1.5 inch per foot. Slope is provided by the structural system.

### USARC (MB)-02:

- a. Roofing generally consists of a sprayed polyurethane foam over a gravel surfaced built up roof over unknown insulation over a steel deck.
- b. Eave height is approximately 17 feet.
- c. Roof slope is approximately 1.5 inch per foot. Slope is provided by the structural system.

### USARC (MB)-03:

- a. Roofing generally consists of 1-4 inches sprayed polyurethane foam over a gravel surfaced built up roof over  $\frac{3}{4}$  inch mineral board over 2  $\frac{1}{2}$  inches polyisocynaurate over  $\frac{3}{4}$  in perlite over a steel deck.
- b. Eave height is approximately 13.5 feet.
- c. Roof slope is approximately  $\frac{1}{2}$  inch per foot. Slope is provided by the structural system.

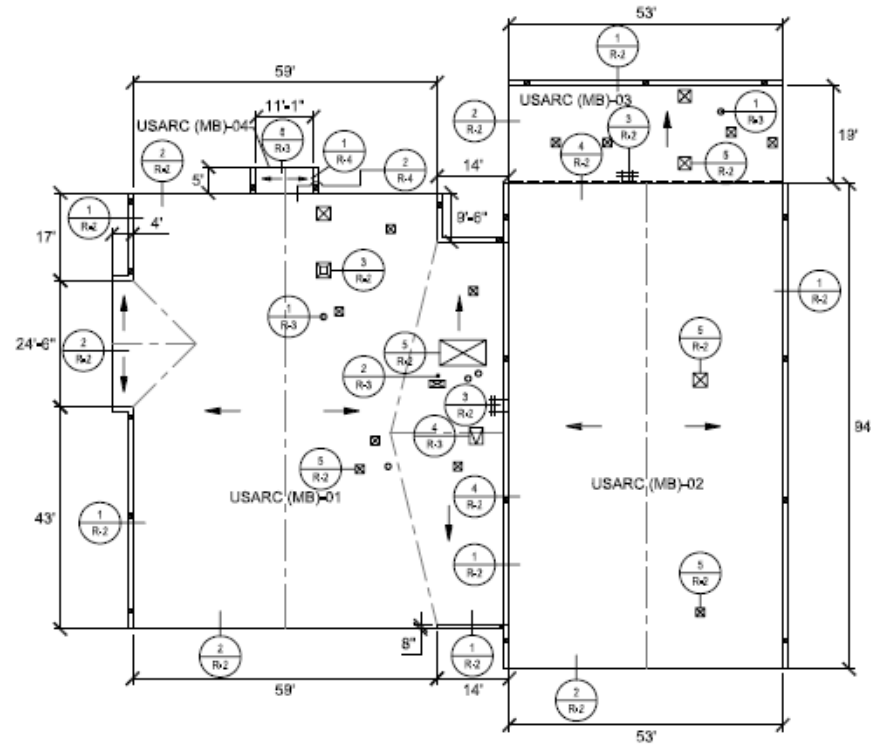
### USARC (MB)-04:

- a. Roofing generally consists of fiberglass felt and asphalt shingles over organic felt underlayment over a wood substrate.
- b. Eave height is approximately 9.5 feet.
- c. Roof slope is approximately 4 inches per foot. Slope is provided by the structural system

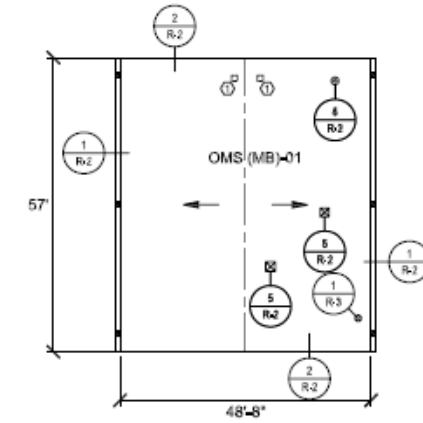
### OMS-01:

- a. Roofing generally consists of 1-4 inches sprayed polyurethane foam over a gravel surfaced built up roof over  $\frac{3}{4}$  inch mineral board over 2  $\frac{1}{2}$  inches polyisocynaurate over  $\frac{3}{4}$  in perlite over a steel deck.
- b. Eave height is approximately 9.5 feet.
- c. Roof slope is approximately 4 inches per foot. Slope is provided by the structural system

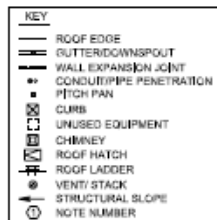




CURB SIZE	QUANTITY	ROOF SECTOR	SQUARE FOOTAGE
20 X 20	9	USARC (MB)-01	6,124
22 X 22	2	USARC (MB)-02	4,382
28 X 28	1	USARC (MB)-03	1,007
32 X 32	3	USARC (MB)-04	58
60 X 108	1	TOTAL	12,171



CURB SIZE	QUANTITY	ROOF SECTOR	SQUARE FOOTAGE
13 X 13	2	USARC (MB)-01	2,774
20 X 20	1	TOTAL	2,774



NOTES:  
① REMOVE UNUSED EQUIPMENT CURBS AND UNUSED PORTIONS OF PITCH PANS.



Attachment C: Site Location



## WV026 Site Plan

900 Maryland Ave  
Martinsburg, WV



Google Earth

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